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GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO FAIRFAX COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- 2. WHEN DURING THE COURSE OF CONSTRUCTION, ANY OBJECT OF AN UNUSUAL NATURE IS ENCOUNTERED, THE CONTRACTOR SHALL CEASE WORK IN THAT AREA AND IMMEDIATELY NOTIFY THE PROPER AUTHORITY, FAIRFAX COUNTY AND/OR THE ARCHITECT/ENGINEER.
- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UNDERGROUND UTILITIES. IF DURING CONSTRUCTION OPERATIONS THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN IN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
- 4. STANDARD GUARD RAIL AND HAND RAILS SHALL BE INSTALLED AT HAZARDOUS LOCATIONS AS DESIGNATED DURING THE FINAL INSPECTION BY FAIRFAX COUNTY, AND/OR V.D.O.T.
- 5. CONTROLLED FILLS MUST BE COMPACTED TO 100% AS DETERMINED PER STANDARD PROCTOR AASHTO T-99 OR ASTM D 698. DENSITY MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER AND THE RESULTS SUBMITTED TO FAIRFAX COUNTY PRIOR TO FOOTING CONSTRUCTION.
- SOIL TESTS OF SUBGRADE MUST BE SUBMITTED FOR ACTUAL DETERMINATION OF SUBBASE THICKNESS PRIOR TO CONSTRUCTION.
- ALL FILL SOILS UNDER EXPANDED PAVED AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM SPECIFICATION D-698 STANDARD PROCTOR METHOD, WITHIN + OR 2% OF OPTIMUM MOISTURE FOR THE FULL WIDTH OF ANY DEDICATED RIGHT-OF-WAY AND ALL PARKING LOTS; PRIVATE STREETS; PARKING BAYS; CURB AND GUTTER; AND SIDEWALKS ADJACENT TO STREETS AND PARKING LOTS (NOT INTENDED TO INCLUDE LEADWALKS), WITH UPPER 1.0 FT. COMPACTED TO 100% OF THE MAXIMUM DRY DENSITY PER ASTM D-698
- 8. ALL UTILITIES WHICH WILL BE PLACED UNDER EXISTING PUBLIC STREETS SHALL BE BORED OR JACKED, FROM VDOT. UNLESS PERMISSION TO OPEN CUT IS OBTAINED.
- 9. ALL STREET CUT AND PATCH WORK IN PUBLIC RIGHTS-OF-WAY REQUIRED FOR UTILITIES INSTALLATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH COUNTY AND VDOT STANDARDS AND SPECIFICATIONS, AND REPAVING A MINIMUM OF 25' ON BOTH SIDES OF THE TRENCH.
- 10. A SMOOTH GRADE SHALL BE MAINTAINED FROM C.L. OF PAVEMENT OF EXISTING ROAD TO PROPOSED CURB AND GUTTER AND/OR PROPOSED PAVEMENT TO PRECLUDE THE FORMING OF FALSE GUTTERS AND/OR THE PONDING OF ANY WATER ON THE ROADWAY. REMOVE AND RECONSTRUCT EXISTING PAVEMENT AND/OR CURB AS DICTATED BY FIELD CONDITIONS TO PROVIDE POSITIVE DRAINAGE AT TIE-IN-POINTS.
- PROPOSED SIDEWALKS MUST BE CONSTRUCTED WITH UD3 UNDERDRAINS WHEN LONGITUDINAL GRADES ARE 3% OR GREATER UNLESS SOIL TEST CONFIRM THAT THEY ARE NOT NEEDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION (APPLIES TO SIDEWALK IN RIGHT-OF-WAY ONLY).
- 12. THE DEVELOPER WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STREET AND UTILITIES WHICH OCCURS AS A RESULT OF HIS CONSTRUCTION PROJECT WITHIN OR CONTIGUOUS TO THE EXISTING RIGHT-OF-WAY.
- 13. ONLY DESIGNATED UTILITY POLES SHALL BE RELOCATED PRIOR TO CONSTRUCTION BY THE DEVELOPER.
- 14. COMPACTION OF BACKFILL IN UTILITY TRENCHES SHALL BE IN ACCORDANCE WITH FAIRFAX COUNTY & V.D.O.T. STANDARDS & SPECIFICATIONS.
- 15. THE DEVELOPER IS RESPONSIBLE FOR ALL TRAFFIC CONTROL. THE DEVELOPER SHALL SUBMIT A SIGNING, STRIPING AND/OR SIGNALIZATION PLAN TO THE VDOT LAND DEVELOPMENT SECTION A MINIMUM OF 30 DAYS PRIOR TO PERMIT APPLICATION. THE DEVELOPER SHALL NOT COMMENCE CONSTRUCTION OF ANY PAVEMENT COURSE WITHOUT AN APPROVED STRIPING PLAN.
- 16. GRADE MUST BE SUBMITTED FOR ACTUAL DETERMINATION OF REQUIRED SUBBASE THICKNESS PRIOR TO SUBBASE PLACEMENT.
- 17. A 4" (MIN) LAYER OF STONE IS REQUIRED BENEATH CURB AND GUTTER. (MAY BE SHOWN ON TYPICAL SECTION IN LIEU OF A NOTE.)
- ADDITIONAL DITCH LININGS OR SILTATION AND EROSION CONTROL MEASURES SHALL BE PROVIDED, AT THE DEVELOPER'S EXPENSE, AS DETERMINED NECESSARY BY VDOT AND/OR THE COUNTY/TOWN DURING FIELD REVIEW. ALL COSTS SHALL BE ASSUMED BY THE DEVELOPER. DEVELOPER IS RESPONSIBLE FOR DESIGN AND CONSTRUCTION OF ANY TRAFFIC SIGNAL INSTALLATION OR MODIFICATION WHICH WILL BE NECESSARY AS A RESULT OF DEVELOPMENT OF THIS SITE.
- 19. CONTRACTOR WILL BE RESPONSIBLE FOR RESURFACING & REPAIR OR ALL DAMAGED & CUT PAVED AREA, SIDEWALKS, STRUCTURES & PLAY GROUNDS TO THE ORIGINAL SHAPE & CONDITIONS.
- THE CONTROLLED FILL FOR THE BUILDING PADS SHALL EXTEND A MINIMUM OF 10 FEET LATERALLY OUTSIDE THE BUILDING PAD, WITH AN ADDITIONAL 1 FOOT FOER EACH FOOT OF FILL ABOVE THE EXISTING SURFACE GRADE TO THE PROPOSED SUBGRADE. IF #57 STONE IS USED AS FILL, NO COMPACTION WILL BE REQUIRED. FILL MATERIAL PLACED IN THE PAVED AND SIDEWALK AREAS SHALL BE PLACED IN NO GREATER THAN 8-INCH LOOSE LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED PER VTM-1 METHOD. HOWEVER THE TOP 12 INCHES OF FILL SHALL BE COMPACTED TO 100 PERCENT OF THE MAXIMUM DRY DENSITY AS PER VTM-1 METHOD.

GENERAL LAND CONSERVATION NOTES

- 1. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
- 2. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IN THE OPINION OF THE LOCAL PROGRAM ADMINISTRATOR OR HIS DESIGNATED AGENT, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
- 4. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERSAND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- 5. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES UNTIL THE PROBLEM IS CORRECTED.
- 6. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.
- 7. WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
- 8. ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- 9. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE
 - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES
 - C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - D. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
 - E. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH
- 10. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
- 11. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM ADMINISTRATOR. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- 12. ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATION TO WORKING IN CROSSING WATERCOURSE SHALL BE MET.
- 13. THE BED & BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IS COMPLETE.

			DESCRIPTION	
			DATE	
			NO.	

ABBREVIATIONS, LEGEND AND GENERAL NOTES
FORT HUNDGOUTENDERMENT SCHOOL
(DB: 3219 PG: 0202 - TM: 111-1-((01))-0009)
& FAIRFAX COUNTY PARK AUTHORITY
(DB: 3180 PG: 0352 - TM: 111-1-((01))-0019)

MAND MATIN THE LIC. NO. OUTBER

,D, SUITE M NIA 20151

SIONAL DESIGN G 4124 WALNEY ROAD, SUITE CHANTILLY, VIRGINIA 2015

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S, SURVEYORS, CONSULTANT

SY: PJT

DESIGN BY: PJT

DRAWN BY: PJT

CHECKED BY: HM

DATE: JULY 2023

SCALE: N/A

JOB #.: **00534**

SHEET NO. 2 OF 8

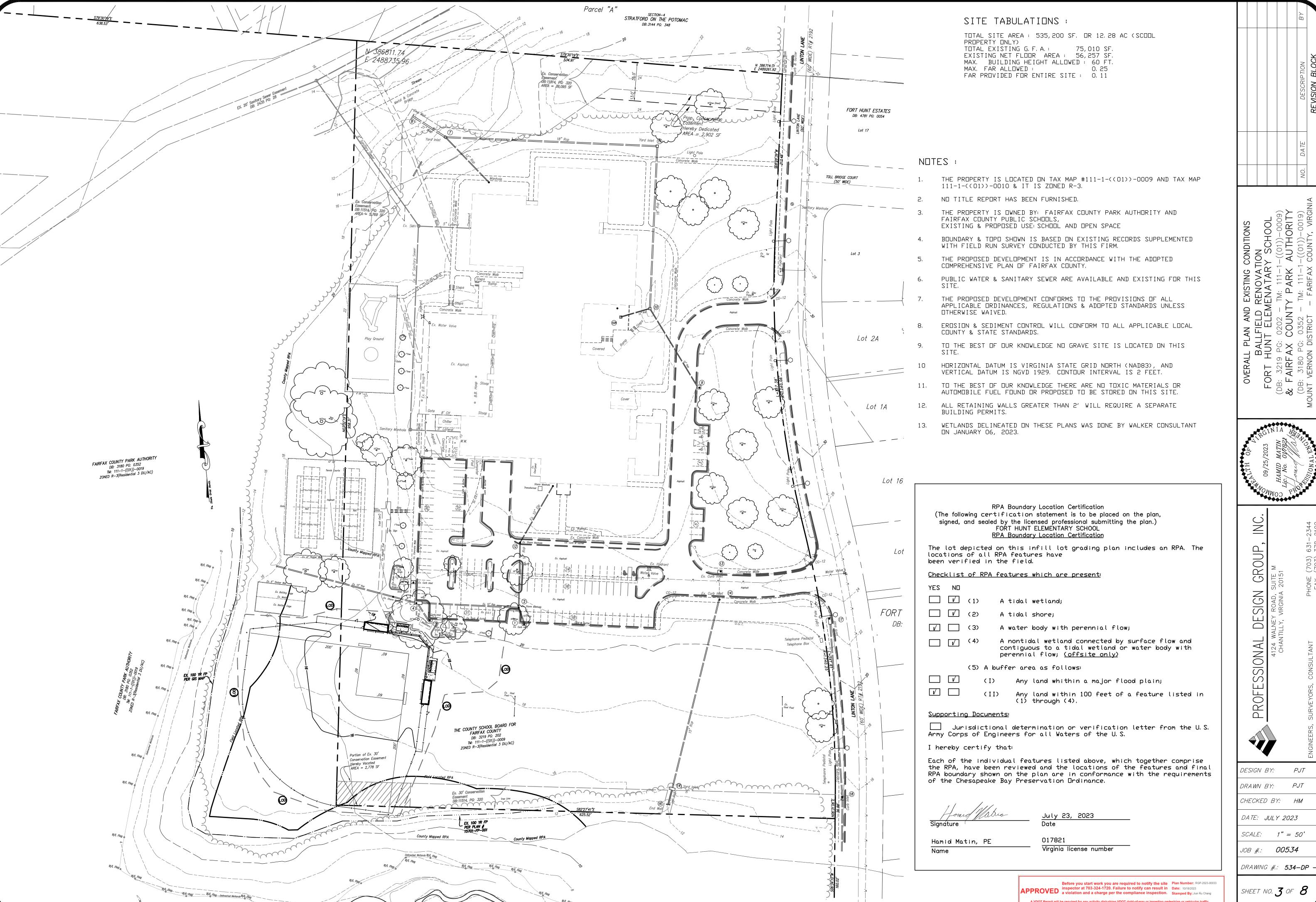
DRAWING #.: **534-DP**

APPROVED

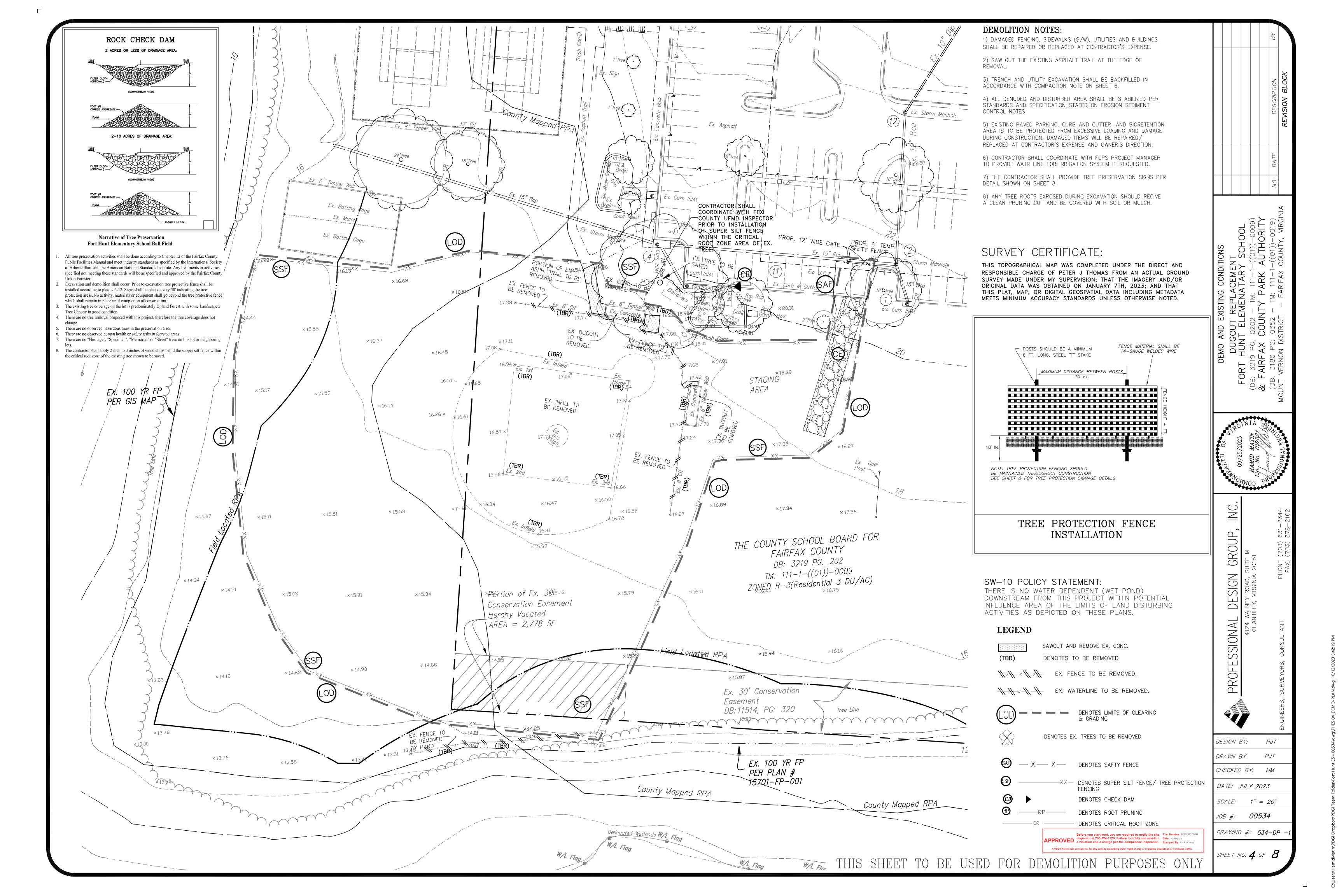
Before you start work you are required to notify the site inspector at 703-324-1720. Failure to notify can result in a violation and a charge per the compliance inspection.

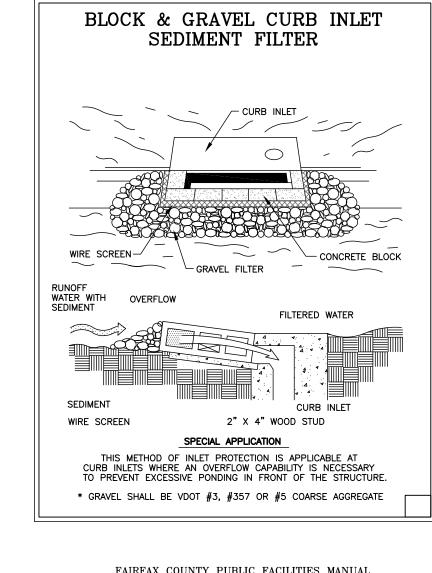
A VDOT Permit will be required for any activity disturbing VDOT right-of-way or impeding pedestrian or vehicular traffic.

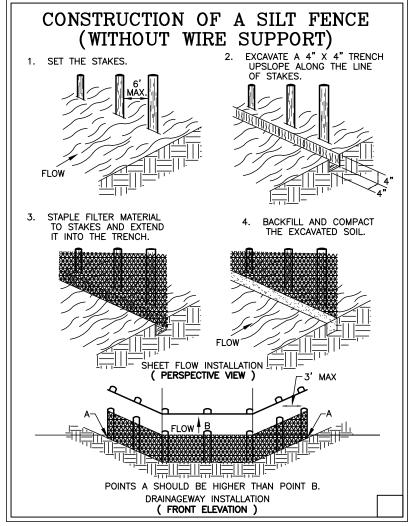
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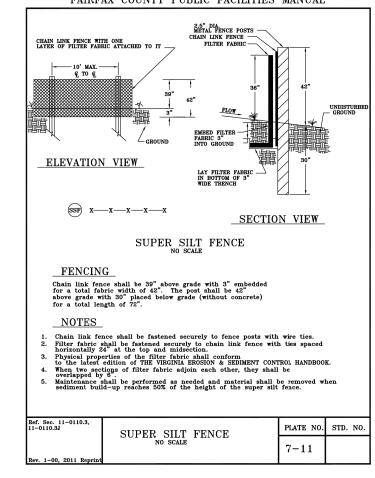


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(FRONT ELEVATION)
RESPONSIBLE LAND DISTURBER CERTIFICATION Effective July 1,2001
Amendments to the Virginia Erosion and Sediment Control Law, §§ 10. l-566 of the Code of Virginia
OWNER/DEVELOPER/PERMITTEE INFORMATION
PROJECT NAMEFORT HUNT ELEMENTARY SCHOOL PROJECT #
DISTRICTMONT VERNON TAX MAP AND PARCEL # 111-1 ((01)) -0009 AND 0019
OWNER/ DEVELOPER/PERMITTEE <u>FAIRFAX COUNTY PUBLIC SCHOOLS</u> PHONE (571) 423-2200
ADDRESS 8115 GAITEHOUSE ROAD, FALLS CHURCH, VA. 22042
RESPONSIBLE LAND DISTURBER INFORMATION
CERTIFICATE/ LICENSE HOLDER NAME Hamid Matin, P.E PHONE (703) 378—2101
ADDRESS 4124 Walney Road, Suite M, Chantilly, Virginia 20151
TYPE OF CERTIFICATE Professional Engineer CERTIFICATE/LICENSE# 017821
APPLICANT/ AGENT SIGNATURE found flatin DATE 07/25/2023
SUBMIT TO: Plan and Document Control, Office of Site Development Services, DPWES 12055 Government Center Parkway, Fairfax, VA 22035-5503

TEMPORARY SEEDING

- 1. SELECTION OF PLANTS SHOULD BE BASED ON THE SPECIFIC SITE AND SEASON AND PER VESCH TABLES 3.31-B&C.
- 2. LIMING REQUIREMENTS SHOULD BE BASED ON TABLE 3.31—A OF VESCH. 3. FERTILIZERS SHALL BE APPLIED AS 600 IBS PER ACRE. FERTILIZER SHALL BE
- INCORPORATED INTO TOP 2-4" OF SOIL. 4. SEED SHALL BE EVENLY APPLIED AND SMALL GRAINS SHALL BE PLANTED NO MORE THAN
- 11/2 INCHES DEEP.
- 5. SEEDING MADE IN FALL FOR WINTER COVER AND DURING HOT SUMMER MONTHS SHALL BE MULCHED.

PERMANENT SEEDING

- 1. PERMANENT VEGETATION COVER MUST MEET THE REQUIREMENTS OF MINIMUM STANDARDS #3 (MS #3).
- 2. THE PLANT MATERIAL SELECTION SHOULD BE BASED ON TABLES 3. 32A & B DEPENDING ON CLIMATE, TOPOGRAPHY, SOILS AND SITE CONDITIONS.
- 3. THE PLANTING SOIL MUST HAVE ENOUGH FINE GRAINED SOIL, SUFFICIENT PORE SPACE, SUFFICIENT DEPTH AND FREE FROM TOXIC OR EXCESSIVE QUANTITIES OF ROOTS AND SHALL BE APPLIED IN ACCORDANCE WITH STD.3.30.

INVASIVE & NONE-NATIVE SPECIES TO BE EXCLUDED FROM SEED MIXES:

PHRAGMITES AUSTRALIS (COMMON REED), LESPEDEZA CUNEATA (CHINESE LESPEDEZA), LOTUS CORNICULATUS (BIRDSFOOT TREFOIL), DACTYLIS GLOMERATA (ORCHARD GRASS), AGROSTIS ALBA (REDTOP), ERAGROSTIS CURVULA (WEEPING LOVEGRASS), CORONILLA VARIA (CROWNVETCH), AND FESTUCA ARUNDINACEA (TALL FESCUE), PHALARIS ARUNDINACEA (REED CANARYGRASS) SHOULD BE EXCLUDED FROM THE VARIOUS SÉED MIXES AND REPLACED WITH SPECIES NATIVÉ AS PER THE LDC TECH BULLLETIN #22-04 SEEDING FAIRFAX COUNTY SEEDING GUIDELINES. NATIVE ALTERNATIVES CAN BE FOUND IN NATIVE PLANTS FOR CONSERVATION, RESTORATION, AND LANDSCAPING, VIRGINIA PIEDMONT REGION (VA DCR):

HTTP://WWW.DCR.VIRGINIA.GOV/NATURAL_HERITAGE/DOCUMENTS/PIED_NAT_PLANTS.PDF

KEY CE SF IP DD	SYMBOL X———————————————————————————————————	DESCRIPTION TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SILT FENCE STORM DRAIN INLET PROTECTION
(SF)		ENTRANCE SILT FENCE
		STORM DRAIN INLET PROTECTION
(DD)		
		TEMPORARY DIVERSION DIKE
FD	FD	TEMPORARY FILL DIVERSION
ST		TEMPORARY SEDIMENT TRAP
(OP)	\bigcirc	OUTLET PROTECTION
(CD)		CHECK DAMS
PS	- PS -	PERMANENT SEEDING
(SO)	- (SO) -	SODDING
TP	00	TREE PROTECTION
SAF		SAFETY FENCE
	OP CD PS SO TP SAF RITICAL SL THIN 14	 ○P ○D →PS SO TP ○O ○O

FAIRFAX COUNTY PRIORITY RATING FORM FOR E&S CONTROL

ax Map:111-1-((01))-0019 & 0009 Evaluator:	HAMID MATIN Date: JULY 2023
Percentage of denuded Area to Total Site Area Rating > 60%] 5 31 to 60%] 3 10 to 30% [X] 1 If the denuded area is greater than 10 acres, the project is initially rated a high priority. Watercourse Crossing Yes [] * No [X] 0 *If yes, project is initially rated a high priority. Distance of Denuded Area to Downstream Adjacent Property. Rating < 50 feet] 5 50 to 150 feet [X] 0 Distance of any portion of the Denuded Area to a natural watercourse. Rating < 50 feet [] 5 50 to 150 feet [X] 3 > 150 feet [X] 3	F. Distance between the Site Outfall and any Downstream, Wet Pond, Wetland, Parkland or other Land deemed environmentally sensitive by the Director. Rating < 2,500 feet 2,500 to 5,000 feet 3 > 5,000 feet 0 G. Critical Slopes within 50 feet of Adjacent Property Are there any slopes of 0 to 7%; greater than or equal to 300 feet in length: or, Are there any slopes of 7 to 15%; greater than or equal to 150 feet in length: or, Are there any slopes greater than 15%; and greater than or equal to 75 feet in length Rating If Yes to any of the above [] 5 Not applicable if critical [X] 0 slope is > 50 feet from adjacent property. H. Soil Erodability (Based on Physiographic Setting) Triassic Basin [] 5 Piedmont Upland [] 3 Coastal Plain [X] 1 TOTAL OVERALL RATING 5 TOTAL OVERALL RATING 5
OVERALL RATING If > 22 If > 14 and < or = to 22 If < or = to 14	ERODABILITY (MArk with an "X") High Medium Low X
PROJECT PRIORITY LEVEL: Low	

PROJECT DESCRIPTION:

THE FORT HUNT ELEMENTARY SCHOOL SITE CONSISTS OF 12.286 ACRES OF AND FORT HUNT PARK LAND CONSISTS OF 18.929 ACRES OF LAND IS ZONED R-3. THE SCHOOL BOARD OF FAIRFAX COUNTY IS SEEKING TO RETROFIT THE EXISTING BALL FIELD TO MEET TITLE THE REQUIEMENTS OF LITTLE LEAGUE AS SHOWN ON THESE PLANS. THE SITE WORK DISTURBED AREA IS 1.39 AC WHICH IS LESS THAN 5% OF THE TOTAL SITE AREA.

EXISTING SITE CONDITION:

THE PROPERTY IS CURRENTLY USED AS FAIRFAX COUNTY PARK AND ELEMENTARY SCHOOL. IT IS PARTIALLY DEVELOPED WITH EXISTING INFRASTRUCTURES. THE SITE IS LOCATED LITTLE HUNTING CREEK WATERDHED.

ADJACENT PROPERTY:

THE SITE HAS FRONTAGE ON LINTON LANE TO THE EAST, AND SURROUNDED BY FULLY DEVELOPED RESIDENTIAL NEIGHBORHOOD ON THE NORTH, SOUTH AND WEST SIDE.

OFF-SITE AREA:

THERE IS NO OFF SITE CONSTRUCTION REQUIRED FOR THIS PROJECT.

SOILS:

SEE SHEET 1 FOR SOILS DESCRIPTION.

CRITICAL EROSION AREA:

THE DOWNSTREAM PORTION OF RESOURCE PROTECTION AREA IS CONSIDERED CRITICAL AREA AND ALL VEGETATION AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH MINIMUM STANDARDS AND SPECIFICATIONS OF VIRGINIA EROSION AND SEDIMENT CONTROL HAND BOOK. THE SUPER SILT FENCE SHALL BE MAINTAINED AND MONITORED REGULARLY.

EROSION AND SEDIMENT CONTROL NARRATIVE:

THE EXISTING FENCES WILL BE REMOVED BY HAND AND THE DEMOLISHING DEBRIS WILL BE HAULED OFF BY SMALL EQUIPMENT WITHOUT BEING STOCK PILED ON SITE. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT FIRST STAGE OF CONSTRUCTION AND SHALL BE MAINTAINED DURING THE ENTIRE CONSTRUCTION PERIOD. THE SUPPER SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING AND DEMOLISHING ACTIVITIES.

A: EROSION CONTROL NOTES:

- 1. NO DISTURBED AREA SHALL BE LEFT DENUDED AND DORMANT FOR MORE THAN 14 CALENDAR DAYS UNLESS AUTHORIZED BY THE DIRECTOR OR HIS AGENT (SPECIFIC AREAS TO BE DETERMINED AT PRE-CONSTRUCTION MEETING).
- ELECTRIC POWER. TELEPHONE. STORM. SANITARY & GAS SUPPLY TRENCHES ARE TO BE COMPACTED, SEEDED & MULCHED WITHIN 5 DAYS AFTER BACKFILLING. NO MORE THAN 500 FEET ARE TO BE OPEN AT ANY ONE TIME.
- TOPSOIL THAT HAS BEEN STOCKPILED IS TO BE SURROUNDED BY SILT FENCE AND SHALL BE PROTECTED BY MULCH AND/OR TEMPORARY VEGETATION IMMEDIATELY AFTER GRADING.
- ALL TEMPORARY EARTH BERMS, DIVERSIONS, AND SEDIMENT BASIN EMBANKMENTS ARE TO BE MACHINE-COMPACTED. SEEDED AND MULCHED FOR TEMPORARY VEGETATIVE COVER WITHIN 5 DAYS AFTER GRADING. STRAW OR HAY MULCH IS REQUIRED.
- 5. ALL FILLS ARE TO BE LEFT WITH A LIP AT THE TOP OF THE SLOPE AT THE END OF EACH DAY'S OPERATION.
- 6. ALL CUT AND FILL SLOPES ARE TO BE SEEDED AND MULCHED WITHIN 5 DAYS OF COMPLETION OF GRADING
- 7. ANY DISTURBED AREA NOT PAVED, SODDED OR BUILT UPON BY NOVEMBER 1, OR DISTURBED AFTER NOVEMBER 1, IS TO BE SEEDED WITHIN 14 DAYS WITH OATS, ABRUZZI RYE OR EQUIVALENT, AND MULCHED WITH STRAW OR HAY MULCH AT THE RATE OF 2 TONS PER ACRE.
- 8. DRAINAGE SWALES SHALL BE STABILIZED WITH CHECK DAMS UNTIL VEGETATION HAS BEEN WELL ESTABLISHED.
- 9. PORTABLE WATER TRUCKS TO BE USED FOR CLEANING OF TRUCKS EXITING THE SITE & SILTATION CONTROL DEVICES
- IT IS RECOMMENDED THAT THE FOLLOWING MAINTENANCE PROGRAM BE PERFORMED:
 - 1. ALL MEASURES ARE TO BE INSPECTED DAILY BY THE SITE SUPERINTENDENT OR HIS REPRESENTATIVE. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY THE END OF THE DAY.
 - TRAPPED SEDIMENT IS TO BE REMOVED FROM SILT FENCES AS REQUIRED TO MAINTAIN EFFICIENCY AND TO BE DISPOSED OF BY SPREADING ON-SITE.
 - 3. CONTROLS MAY BE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED AND WITH APPROVAL OF THE SITE INSPECTOR.
- C. DEVICES SHOWN ABOVE ARE TO BE CONSIDERED MINIMUM EROSION AND SILTATION CONTROLS. ADDITIONAL CONTROLS MAY BE NECESSARY DUE TO CONTRACTOR PHASING OR OTHER UNANTICIPATED CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADDITIONAL DEVICES AS NECESSARY TO THOSE SHOWN IN ORDER TO CONTROL EROSION AND SILTATION. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED ACCORDING TO THE STANDARDS AND SPECIFICATIONS IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AS SUPPLEMENTED BY THE FAIRFAX COUNTY CHECK LIST FOR EROSION AND SEDIMENT CONTROL
- D. THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF ALLAYING DUST AS NECESSARY BY APPLYING EITHER MOISTURE, CALCIUM CHLORIDE OR BOTH MATERIALS ALONG THOSE SECTIONS OF THE PROJECT ADJACENT TO PUBLIC ACCESS. ALL WORK IS TO COMPLY WITH AIR POLLUTION CONTROL POLICIES OF FAIRFAX COUNTY AS DESCRIBED IN CHAPTER 103 OF THE FAIRFAX COUNTY CODE.
- APPLY PERMANENT VEGETATION (SODDING) WITH SOIL PREPARATION. IN ACCORDANCE WITH SEC. 3.33 OF VESCH.

PERMANENT SODDING

- 1. SODDED AREAS SHALL BE BROUGHT TO FINAL GRADE IN ACCORDANCE WITH THE APPROVED PLANS.
- 2. SOIL TESTS SHOULD BE MADE TO DETERMINE THE EXACT REQUIREMENTS FOR LIME AND FERTILIZER.
- 3. PRIOR TO LAYING SOD, SOIL SURFACE SHALL BE CLEAR OF TRASH, DEBRIS AND LARGE OBJECTS.
- 4. QUALITY OF SOD SHALL BE STATE CERTIFIED AND ENSURE GENETIC PURITY AND HIGH QUALITY.
- 5. SOD SHALL NOT BE LAID IN EXCESSIVELY WET OR DRY WEATHER AND BE DELIVERED AND INSTALLED WITH 36 HRS.
- 6. SOD SHALL NOT BE LAID ON FROZEN SOIL SURFACE AND SHALL BE INSTALLED PER PLATE 3.33-1 OF VESCH.

EROSION & SEDIMENT CONTROL STANDARD NOTES

- The owner/developer grants the right-of-entry on to this property to the designated Fairfax County personnel for the purpose of inspecting and monitoring for compliance with title 10.01, Chapter 5, Article 4 of the Code of Virginia, Erosion and Sediment Control Law.
- All erosion control measures shown on the approved plan must be in place and inspected and approved by the Department of Public Works prior to clearing, stripping of topsoil or grading.
 - A copy of the approved erosion and sediment control plan and permit shall be kept on the site at all times.
- 4. The developer/developer's representative is responsible for the installation of anv additional erosion control measures necessary to prevent erosion and sedimentation as determined by Fairfax County.
- 5. All disturbed areas are to drain to approved sediment control measures at all times during land disturbing activities and during site development until complete and adequate stabilization is achieved.
- Water must be pumped into an approved filtering device during dewatering
- All erosion and sediment control practices must be constructed and maintained according to the minimum standards and specifications of the Virginia Erosion and Sediment Control Handbook and the Virginia Regulations VR 625-02-00 Erosion and Sediment Control Regulations.
- The developer/developer's representative will be responsible for the installation and maintenance of all erosion and sediment control practices at all times.
- The developer/developer's representative shall inspect all erosion and sediment control measures daily and after each significant rainfall. The following items will be checked in particular:
- a. Sediment basins will be cleaned out when the level of sediment buildup reaches the cleanout elevation indicated on the riser pipe. Sediment shall be disposed in suitable areas and in such a manner that will not erode or cause sedimentation problems. The basin embankment should be checked regularly to ensure that it
- structurally sound and has not been damaged by erosion or construction
- Emergency spillways should be checked regularly to ensure that its lining is well established and erosion resistant.
- b. Sediment traps will be checked regularly for sediment cleanout. Sediment shall be removed and the trap restored to its original dimensions when the sediment has accumulated to one half the design volume of the wet storage. Sediment removed from the trap shall be deposited in a suitable area and in such a manner that it will not erode and cause sedimentation problems.
- c. Gravel outlets will be checked regularly for sediment buildup which will prevent drainage. If the gravel is clogged by sediment, it shall be removed and cleaned or replaced.
- d. Silt fence barriers will be checked regularly for undermining or deterioration of the fabric. Sediment shall be removed when the level of sediment deposition reaches half way to the top of the barrier.
- e. Seeded areas will be checked regularly to ensure that a good stand is maintained. Areas should be fertilized and reseeded as needed.
- f. Stream diversion and storm conveyance channels shall be inspected daily and after each rain to ensure they're functioning properly and that the integrity of the linings are not impaired.
- 10. Any necessary repairs or cleanup to maintain the effectiveness of the erosion control devises must be made immediately after the inspection.
- 11. Sediment trapping measures will be installed as a first step in grading and will be seeded and mulched immediately following installation.
- 12. Permanent soil stabilization shall be applied to denuded areas within seven (7) days after final grade is reached on any portion of the site.
- Temporary soil stabilization shall be applied within seven (7) days to denuded areas that may not be at final grade but will remain undisturbed for longer than fourteen (14) days.
- 13. Seeding and selection of the seed mixture shall be in accordance with the Virginia Erosion and Sediment Control Handbook Standard and Specification
- 14. Roads and parking areas shall be stabilized within seven (7) days after final
- 15. All temporary erosion and sediment control measures will be removed within 30 days after adequate site stabilization and after the temporary measures are no longer needed, as authorized by the Fairfax County inspectors. Trapped sediment and the disturbed soil areas resulting from the disposition of temporary measures will be permanently stabilized to prevent further
- 16. When sediment is transported onto a paved road surface, the road will be cleaned thoroughly at the end of each day. Sediment will be removed from the roads by shoveling or sweeping and transported to a sediment control disposal area. Street washing will be allowed only after sediment is removed
- Areas which are not to be disturbed will be clearly marked by flags, signs,
- RPA and flood plain limits shall be clearly marked in the field by flags,
- Tree save areas shall be clearly marked in the field by orange safety fence. Orange safety fence must be installed around all silt traps and sediment

DUST CONTROL

erosion and sedimentation.

PROVISION FOR DUST CNTROL SHALL BE MADE IN ACCORDANCE WITH STD. AND SPEC. 3.39 OF VESCH.

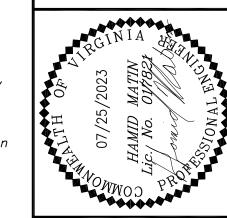
APPROVED

Before you start work you are required to notify the site inspector at 703-324-1720. Failure to notify can result in a violation and a charge per the compliance inspection.

Before you start work you are required to notify the site inspector. Stamped By: Jiun Ru Chang A VDOT Permit will be required for any activity disturbing VDOT right-of-way or impeding pedestrian or vehicular traffic.

THIS SHEET TO BE USED FOR EROSION AND SEDIMENT CONTROL PURPOSES ONLY

NOTES IOOL THORITY \propto - ∢ \triangleleft <u>.</u> __ EMEN i Z ORT HUNT
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FAIRFAX C \circ \circ



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DESIGN BY:

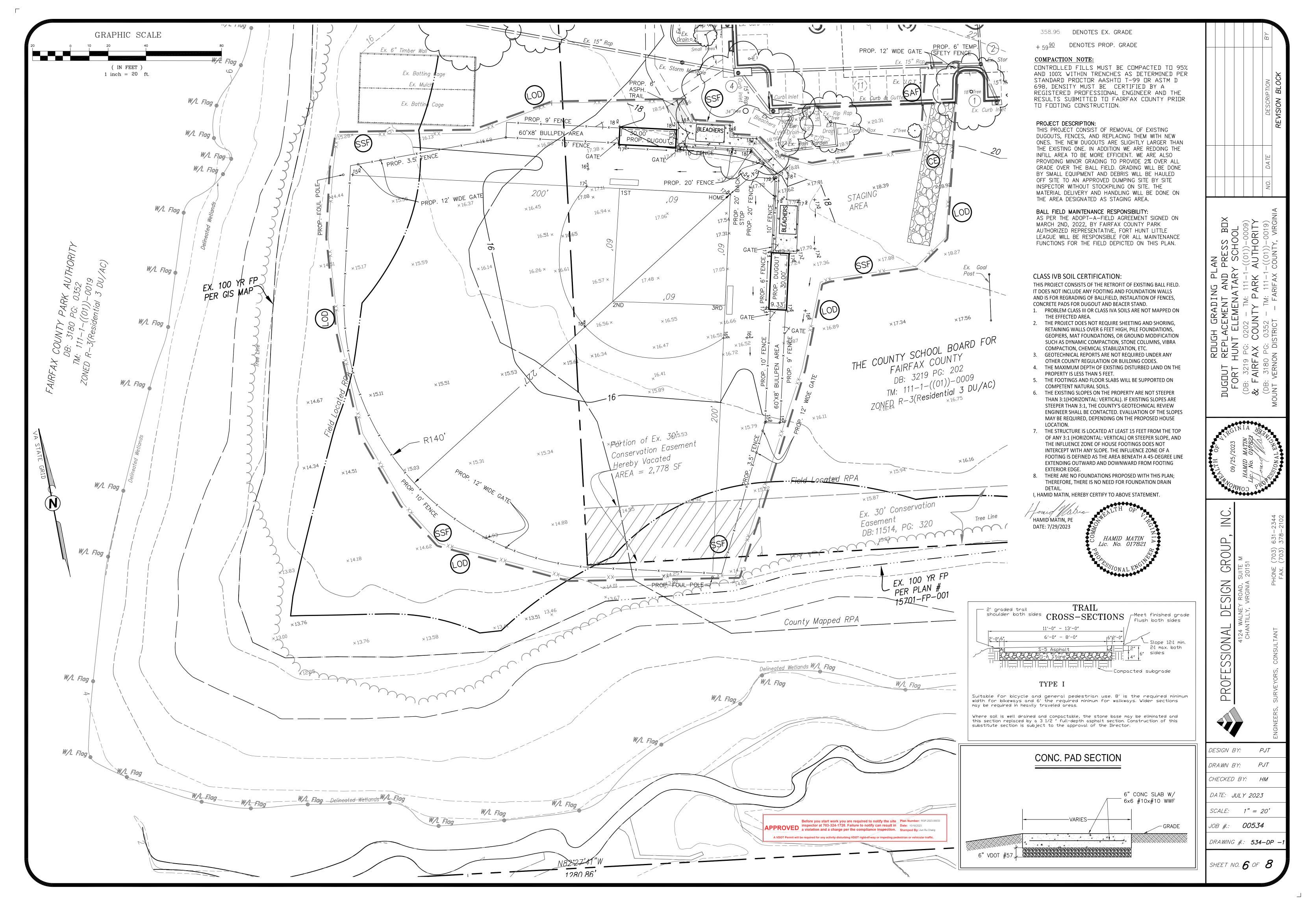
DRAWN BY: CHECKED BY: HM

DATE: JULY 2023

AS NOTED IOB #.: **00534**

DRAWING #.: **534—DP**

SHEET NO. 5 OF 8





% Managed Turf

ReDev. Impervious

Cover (acres)

Ry(impervious) New Impervious Cover (acres) 0.02 (pres) 0.95

0.81 -ReDevelopment TP Load (lb/yr) 0.82

% impervious 1%
Total ReDev. Site Area
(acres)
ReDev Site Rv 0.26 Post-Development Treatment Volume (acre-ft) st-ReDevelopment reatment Volume (acre-ft) Post-Development Treatment Volume (cubic feet) reatment Volume (cubic feet) st-ReDevelopm Load (ΤΡ) (Ib/yτ)* ost-Development TP Load (lb/yr) 0.04

d (lb/vr) 0.20

BMP Design Specifications List: 2013 Draft Stds & Specs Site Summary

Total Rainfall (in): 43
Total Disturbed Acreage: 1.39

Site Land Cover Summary

A soils B Soils C Soils D Soils 0.00 Managed Turf (acres) 0.00 0.00 0.00 1.37 1.37

A soils B Soils C Soils D Soils Forest/Open (acres)
Managed Turf (acres) 0.00 0.00 0.00 0.00 0.00 0.00 0.00 1.35 0.00 1.35

Site Tre

te 17 and tand cover Nutrient Loads									
	Final Post-Development (Post-ReDevelopment & New Impervious)	Post- ReDevelopment	Post- Development (New Impervious)	Adjusted Pre- ReDevelopment					
te Rv	0.27	0.26	0.95	0.26					
eatment Volume (ft ³)	1,363	1,294	69	1,294					
Load (lb/yr)	0.86	0.81	0.04	0.81					

(Post-ReDevelopment & New Imperviou

ReDevelopment TP Load per acre (lb/acre/vr)
er acre

	Final Post-Dev	elonment Load		Bro
Total TP Load Reduction Required (lb/yr)	0.20 0.16		0.04	1

Site Compliance Summary

TN Load (lb/yr)

Maximum % Reduction Required Below	20%
Pre-Re Development Load	20%

) 0
0.00
0.00
0.86
0.20

Drainage Area Summary

0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00	0.00
-	0.00	0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00

Drainage Area Compliance Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Reduced (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00
TN Load Reduced (lb/yr)	0.00	0.00	0.00	0.00	0.00	0.00

IMPERVIOUS ARE COMPUTATIONS:

TOTAL IMPERVIOUS AREA BEING REMOVED IS 634 sf.

TOTAL IMPERVIOUS AREA PROPOSED IS 1,740 sf.

TOTAL INCREASE IN IMPERVIOUS ARE 1,106 sf. OR LESS

THAN 0,1% OF TOTAL SITE ARE. THEREFORE, THE

INCREASE IN PHOSPHOROUS LOAD AND RUNOFF VOLUME
IS NOT MERSIPEABLE IS NOT MEASURABLE.

IS NOT MEASURABLE.

SWM AND BMP NARRATIVE:
THIS PROJECT IS PART OF THE FORT HUNT
ELEMENTARY SCHOOL THAT HAS BEEN CONSTRUCTED
PRIOR TO NEW STORMWATER MANAGEMENT
REQUIREMENTS. A MINOR SITE PLAN WAS APPROVED
FOR ONE STORY ADDITION AND ADDITIONAL PARKING
AREA IN 1995. WITH THAT MINOR SITE PLAN 4.0 ACRE
OF LAND WAS DESIGNATED AS QUALIFIED DPEN SPACE
AND WAS PLACED IN CONSERVATION EASEMENT
RESULTING IN 20.77% IN LOAD REDUCTION. IN 2009
TWO BIORETENTION FACILITY WAS COMPLETED BY DPW
THAT TAKES RUNOFF FROM EXISTING PARKING LOT AND
PROVIDES ADDITIONAL 0.88 LB OF LOAD REMOVAL PER
YEAR. THE SITE IS FULLY COMPLIANCE WITH FAIRFAX
COUNTY SWM REQUIREMENTS. ACCORDING TO VRRM
SPPEAD SHEET, THE TIMLD REQUIREMENT FOR THE
PROPOSED IMPERVIOUS AREA IS 0.20 LB YEAR. THERE
IS NUTRIENT CREDIT AVAILABLE TO BE UTILIZED AND
MEET THE LOAD REMOVAL REQUIREMENTS. PLEASE SEE
THE LETTER ATTACHED TO THIS SHEET.
A PRE AND POST DEVELOP IMPERVIOUS AREA
CALCULATION IS PROVIDED ON SHEET 8. AS
DEMONSTERED FOR THE PREVIOUS AREA
CALCULATION IS PROVIDED ON SHEET 8. A FRE AND FOST DEVELOP IMPERVIOUS AREA
CALCULATION IS PROVIDED ON SHEET 8. AS
DEMONSTRATED THE C FACTOR FOR PRE AND POST
REMAIN THE SAME THEREFORE THERE IS NO INCREASE
IN RUNOFF.

IN KUNOFT.

OUTFALL NARRATIVE:
THE FLOW FROM THE EFFECTED AREA IS RUNNING IN SOUTHWESTERLY DIRECTION INTO AN EXISTING CREEK ON PARK PROPERTY.
WITH THIS RETROFIT THERE IS NO INCREASE IN RUNOFF AND IT SHEET FLOWS TOWARD THE EXISTING STREAM THAT RUNS THROUGH PARK AUTHORITY PROPERTY. CHANNEL PROTECTION:
SINCE THE PRE AND POST DEVELOPMENT RUNOFF WILL REMAIN THE SAME. THERE WILL BE NO IMPACT ON ENERGY BALANCE CALCULATION THEREFORE IT MEETS THE REQUIREMENTS OF SECTION 124-4-4.B.3A OF COUNTY CODE.
FLOOD PROTECTION:
THE C FACTOR FOR PRE AND POST DEVELOPMENT OF THE SITE IS THE SAME THEREFORE THE FLOOD PROTECTION REQUIREMENTS IS MET.

PLEASE SEE THE CALCULATIONS AND DRAINAGE AREA MAP ON SHEET 8.



Potomac Mitigation Bank, LLC 37163 Mountville Rd Middleburg, VA 20117 540-687-6999

July 27, 2023

Mr. Hamid Martin, PE Professional Design Group, Inc. 4124 Walney Road, Suite M Chantilly, VA 20151

Credit Availability – Fort Hunt Elementary School – Ball Field Impr Location: 8832 Linton Lane, Alexandria, VA 22308 0.2 Lbs Phosphorus Reduction Offset Credits Circleville Nutrient Credit Bank Loudoun County, Virginia Located in HUC 02070010

Dear Mr. Martin,

This letter is to confirm the availability of authorized phosphorus reduction credits at the Circleville Nutrient Bank located in Loudourn County, VA, Hydrologic Unit Code 02070008, which per state regulation allows us to service Virginia 8 Digit Hydrologic Unit Codes (HUCs) 02070008 and 02070010. regulation allows us service Virginia a Digit Hydrologic Unit Codes (HCCs) U2/0000s and U2/0010. The nutrient reductions resulting from this activity generated nonpoint source Nutrient "Credits" which are transferable to those entities requiring nutrient reductions in accordance with the Chesapeake Bay Watershed Nutrient Credit Exchange Program (VA Code § 62. 1-44. 19:14) and the Virginia Stormwater Credit Program (VA Code § 62. 1-44. 15:35). and Virginia Administrative Code 9 VAC 25-820-10 et seq. These Nutrient Credits are generated and managed under the terms of the Banking Instruments known as the Circleville Nutrient Bank Nutrient Reduction Implementation Plan ("NRIP").

On July 6, 2023, Circleville Nutrient Bank was authorized to transfer 8.46 pounds of phosphorus credits. We will have availability to supply 0.2 lbs. of phosphorus Credits from the Brookdale or Circleville banks to meet your removal requirement of 0.2 Credits.

These credits will be available in accordance with the Nonpoint Nutrient Offset Generation Certification (Potomac – 065). These credits are transferrable under the Nutrient Reduction Implementation Plan for Circleville Nutrient Credit Bank, which was dated February 28, 2020.

In the event our credit inventory at the Circleville Bank is depleted before you are ready to break ground and purchase the 0.2 credits, we reserve the right to substitute credits from another of Potomac's banks in Hydrologic Unit Code 02070008 and 02070010, specifically our Britian Farms and Crooked Run nutrient banks.

If I can be of further assistance please do not hesitate to contact me

Y SCHOOL 1-((01))-0009) AUTHORITY 1-((01))-0019) VRRM SPREAD SHEET AND NARY
FORT HUNT ELEMENATARY S
(DB: 3219 PG: 0202 - TM: 111-1-((0
& FAIRFAX COUNTY PARK AU
(DB: 3180 PG: 0352 - TM: 111-1-((0
AOUNT VERNON DISTRICT - FARIFAX COU

HAMID Lig. / No.

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GROUP,

DESIGN VALNEY ROAD, ST **PROFESSIONAL**

DESIGN BY: PJT DRAWN BY: PJT CHECKED BY: DATE: JULY 2023 SCALE: N/A JOB #.: 00534 DRAWING #.: 534-DP

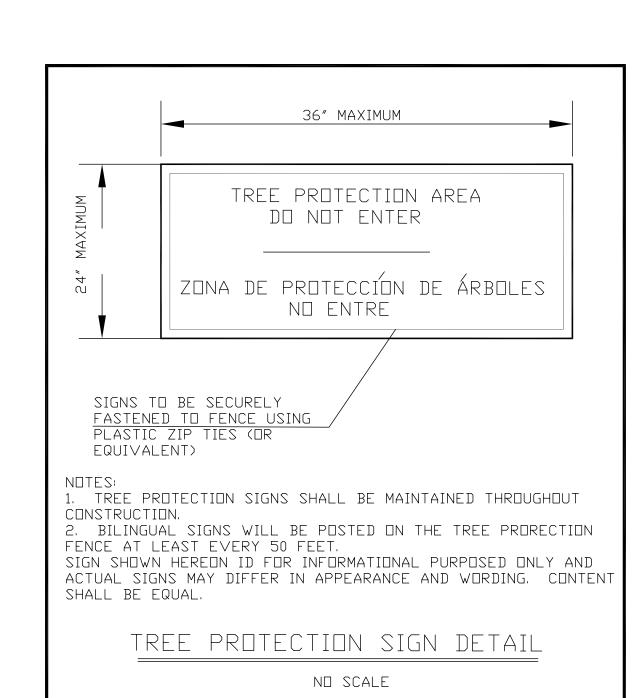
SHEET NO. 7 OF 8

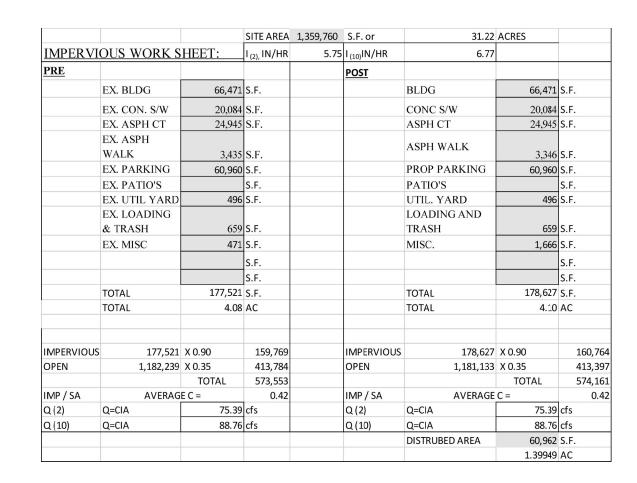
- 1. Terminal post shall be $2 \frac{1}{2}$ OD
- 2. This detail shows mow strip without warning track.
- 3. All posts shall be set plumb.
- 4. Fabric shall have knuckled selvage top & bottom.
- 5. Dugout fence fabric shall be on inside/field side of posts.
- 6. Gate shall swing away from field.

FENCE DETAIL

FENCE NOTE:

- 1) FOR THE 20' HIGH BACKSTOP FENCING, 6 GAUGE FABRIC SHALL BE USED FOR ALL FUUR SECTIONS OF THE BACKSTOP (TWO BEHIND HOME PLATE, AND ONE WING ON EACH SIDE), FABRIC SHOULD BE KNUCKLED ENDS ON TOP AND BOTTOM, SUPPORT RAILS SHOULD BE INSTALLED AT 2", 1', 2', 4', 6', 10', 15', AND 20'.
- 2) FOR THE 20' HIGH FENCING INSTALLED TO EITHER SIDE OF THE BACKSTOP FENCING, 9 GAUGE FABRIC SHALL BE USED, FABRIC SHOULD BE KNUCKLED ENDS ON TOP AND BOTTOM. SUPPORT RAILS SHOULD BE INSTALLED AT 2", 5', 10', 15, AND 20'...
- 3) REPLACEMENT OF ALL OF THE REMAINING FENCING SHALL BE WITH NEW 9 GAUGE FABRIC SHALL BE USED AND. FABRIC SHOULD BE KNUCKLED ENDS ON TOP AND BOTTOM, SUPPORT RAILS SHOULD BE INSTALLED AT 2", 3', 6' AND 10' (FOR 10 FEET HIGH FENCE DNLY) ALONG THE ENTIRE LENGTH OF FENCE





DocuSign Envelope ID: 556345B9-B799-4925-B6DE-47384645FA56



To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

Aug 15, 2023 | 15:31:19 EDT

Professional Design Group 4124 Walney Rd Suite M

Chantilly, VA 20151

Fort Hunt Elementary School; 8832 Linton Lane; Tax Map # 1111 01 0009; Mount Vernon District

Reference: Resource Protection Area Exemption # WAIV-2023-00360

Dear Ms. Dodge:

Your request to encroach into the Resource Protection Area to replace an existing baseball field on the subject property under Chesapeake Bay Preservation Ordinance (CBPO – Chapter 118 of The Code of the County of Fairfax, Virginia) Section 118-5-1.A, is approved with to the following conditions:

- 1. Any land disturbance exceeding an area of 2,500 square feet shall comply with Chapter 104 of The Code of the County of Fairfax, Virginia, and shall require the approval of a grading/conservation plan prior to the initiation of land disturbance. Creating or causing a land disturbance exceeding 2,500 square feet without an approved grading/conservation plan is a violation of Section 104-1-2 and is subject to civil penalties up to \$10,000 per violation.
- 2. No more land shall be disturbed than is necessary to provide for the proposed work.
- 3. All activities shall comply with all applicable state and federal permits and shall be conducted in a manner that protects water quality.
- 4. All activities are subject to county inspection to ensure compliance with the conditions of this approval.

This approval is valid as of the date of this letter and does not relieve you of the responsibility for complying with any and all other applicable CBPO or other County Code requirements currently in effect, or which may be adopted by the Board of Supervisors at a future date. Such other County Code requirements that may be applicable include, floodplain regulations (Zoning Ordinance § 2-900), the stormwater management ordinance (Chapter 124), pro-rata share payments, and the erosion and sediment control ordinance (Chapter 104), among other possible Code sections.

If further assistance is desired, please contact me at <u>Daniel.Rizzo@fairfaxcounty.gov</u> or call at

CONC. FOOTING

DocuSign Envelope ID: 556345B9-B799-4925-B6DE-47384645FA56

Professional Design Group WAIV-2023-00360 Page 2 of 2

Sincerely,

SAFETY FENCE DETAIL

INSTALATION DETAIL ON EXISTING SOIL

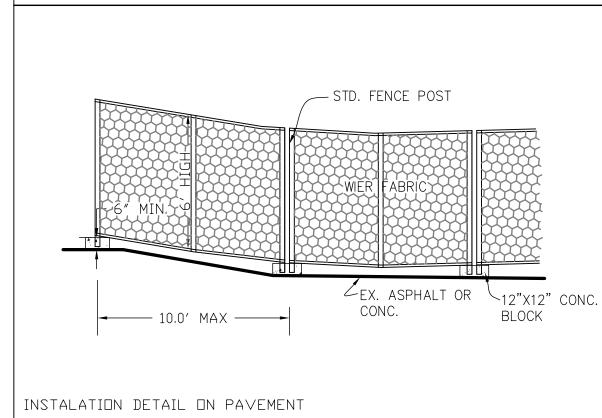
D. Jhy Daniel Rizzo, P.E.

Senior Engineer III, South Branch Site Development and Inspection Division (SDID) Land Development Services (LDS)

— STD. FENCE POST

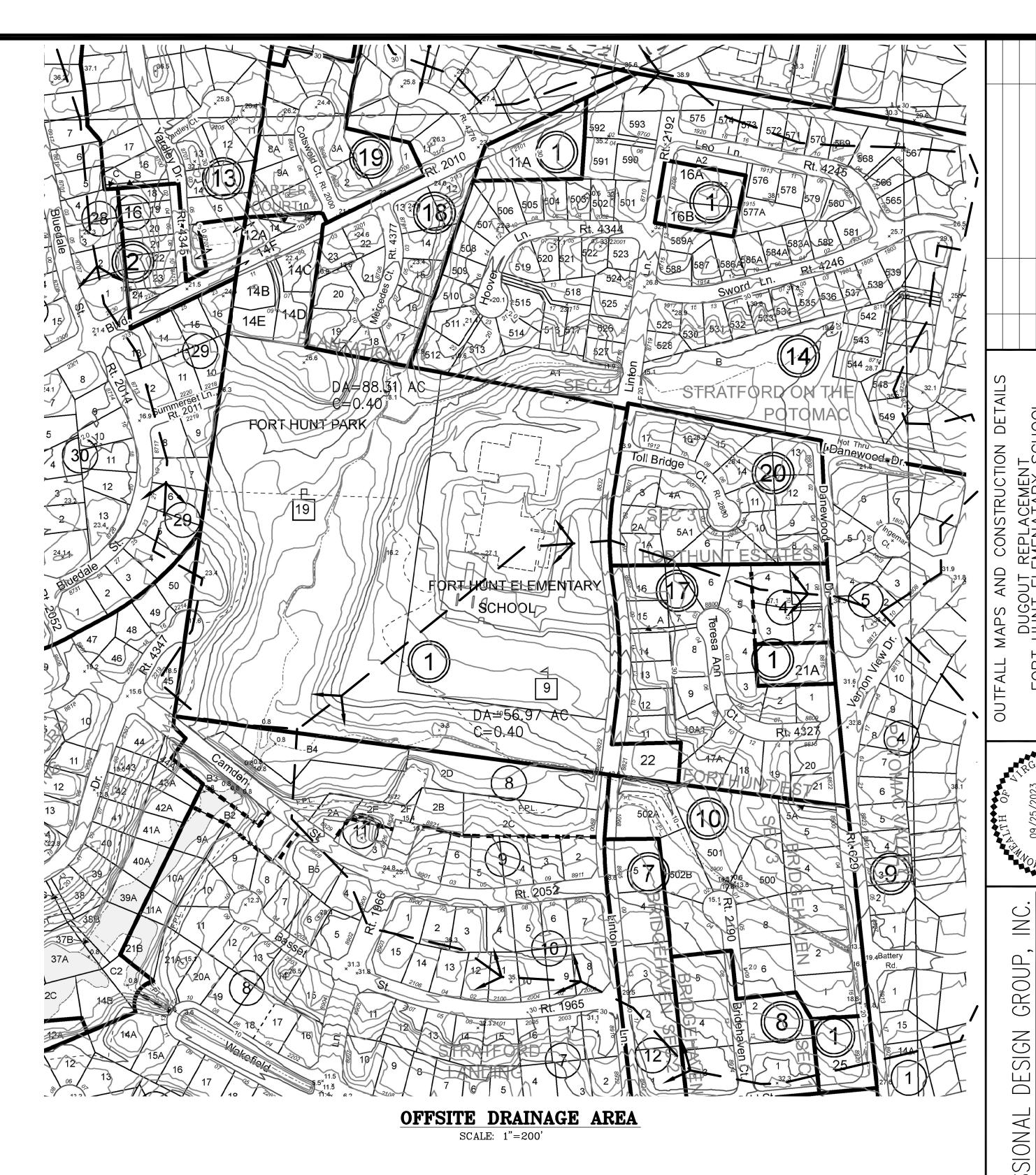
cc: Kati Barczay, P.E., Chief, South Branch, SDID, LDS Waiver File

SAFETY FENCE DETAIL





- A. LINE POSTS SHALL BE PLACED AT INTERVALS OF 10 FEET MEASURED FROM CENTER TO CENTER OF ADJACENT POSTS, IN DETERMINING THE POST SPACING, MEASUREMENT WILL BE MADE PARALLEL WITH THE GROUND SURFACE, SEE "PERSPECTIVE" VIEW IN PLATE 3.01-1 OF E&S MANUAL.
- B. POSTS WILL BE SET IN CONCRETE AND BACKFILLED OR ANCHORED BY OTHER ACCEPTABLE MEANS SUCH AS CONC. BLOCK AS SHOWN.
- C. POSTS SET IN THE TOPS OF CONCRETE WALLS SHALL BE GROUTED INTO PREFORMED HOLES TO A MINIMUM DEPTH OF 12 INCHES.
- D. ALL CORNER POSTS, END POSTS, GATE POSTS, AND PULL POSTS SHALL BE EMBEDDED, BRACED, AND TRUSSED AS SHOWN IN THE "STANDARD FENCE - CHAIN LINK DETAIL FOUND IN THE LATEST VERSION OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) ROAD AND BRIDGES TANDARDS.
- E. FENCING FABRIC SHALL NOT BE STRETCHED UNTIL AT LEAST 4 DAYS AFTER THE POSTS ARE GROUTED INTO WALLS OR 14 DAYS AFTER THE POSTS ARE SET INTO CONCRETE.
- F. THE FABRIC SHALL BE STRETCHED TAUT AND SECURELY FASTENED, BY MEANS OF TIE CLIPS, TO THE POSTS AT INTERVALS NOT EXCEEDING 15 INCHES AND TO THE TOP RAILS OR TENSION WIRES AT INTERVALS NOT EXCEEDING 2 FEET. CARE SHALL BE TAKEN TO EQUALIZE THE TENSION ON EACH SIDE OF EACH POST.



PR

DESIGN BY: DRAWN BY: CHECKED BY: HM DATE: JULY 2023 SCALE: AS NOTED

IOB #.: **00534**

DRAWING #.: **534-DP** -

SHEET NO. 8 OF 8