

ABBREVIATIONS

Table of abbreviations from A to L, including terms like AREA OR ARC, BOTTOM OF BANK, COEFFICIENT OF RUNOFF, DEPTH, EROSION CONTROL, FIRE LINE, GAS, HANDICAPPED PARKING SPACE, etc.

Table of abbreviations from M to Z, including terms like MONUMENT FOUND, NOW OR FORMERLY, PERIMETER, Q(C.F.S.), RADIUS, SANITARY, TANGENT, UNDER DRAIN, VELOCITY, WATER MAIN, etc.

LEGEND

Legend table mapping symbols to terms: EXISTING INTERMEDIATE CONTOUR, EXISTING CONTOUR INDEX, PROPOSED CONTOUR, EXISTING EDGE OF PAVEMENT, PROPOSED EDGE OF PAVEMENT, PROPOSED HEADER CURB, etc.

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO FAIRFAX COUNTY AND VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
2. WHEN DURING THE COURSE OF CONSTRUCTION, ANY OBJECT OF AN UNUSUAL NATURE IS ENCOUNTERED, THE CONTRACTOR SHALL CEASE WORK IN THAT AREA AND IMMEDIATELY NOTIFY THE PROPER AUTHORITY, FAIRFAX COUNTY AND/OR THE ARCHITECT/ENGINEER.
3. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK...

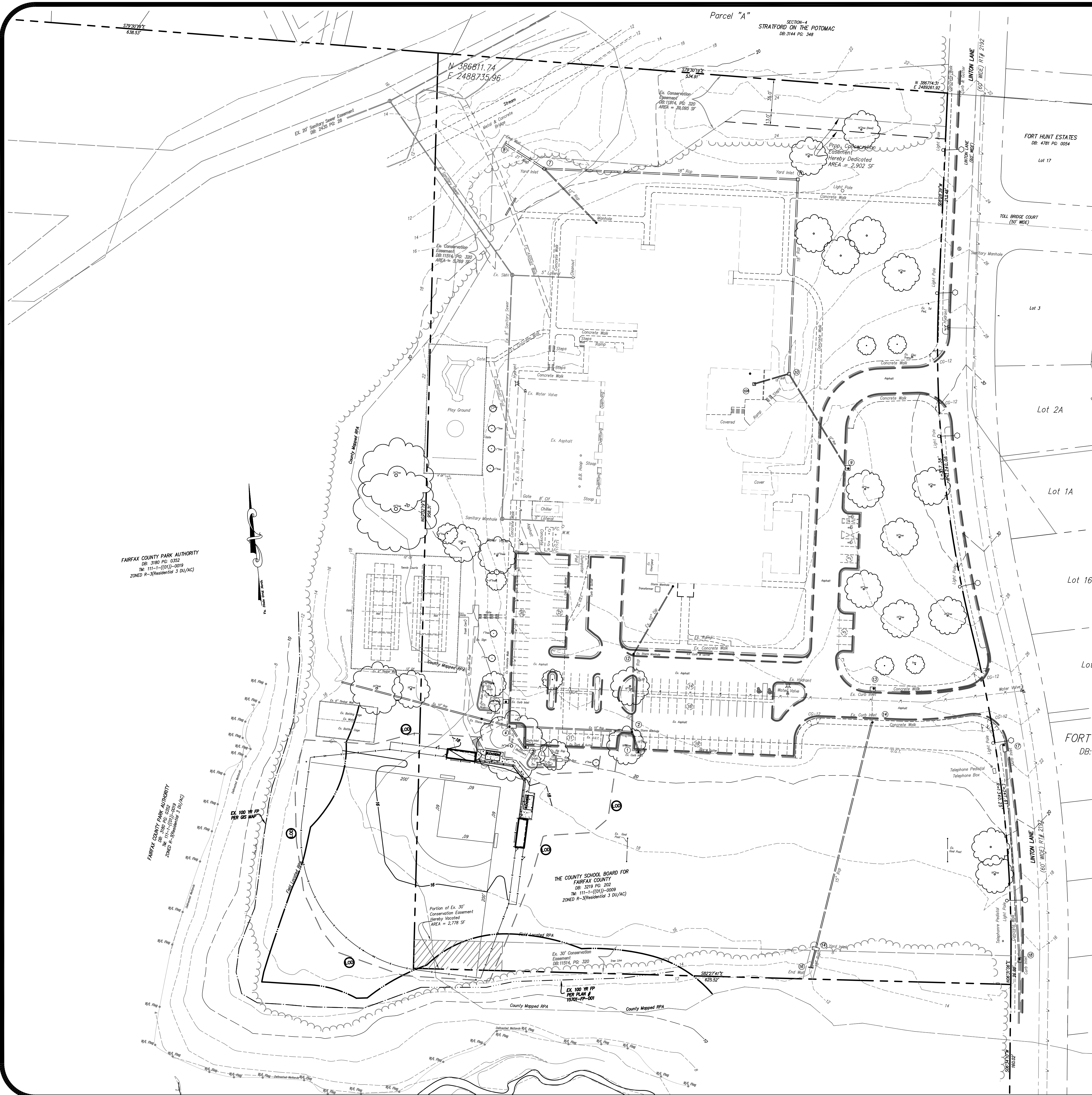
GENERAL LAND CONSERVATION NOTES

- 1. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 30 DAYS.
2. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.

Professional Design Group, Inc. logo and contact information. Includes address (4124 WALNLEY ROAD, SUITE M, CHANTILLY, VIRGINIA 20151), phone (703) 631-2344, fax (703) 378-2102, and a revision block table.

APPROVED stamp with date 07/25/2023 and signature of Handed Matty. Includes text: Before you start work you are required to notify the site inspector at 703-224-1720. Failure to notify can result in a violation and a charge per the compliance inspection.

Revision block table with columns for NO., DATE, DESCRIPTION, and BY. Includes entries for design, draw, check, and scale.



SITE TABULATIONS :

TOTAL SITE AREA : 535,200 SF. OR 12.28 AC (SCDOL PROPERTY ONLY)
 TOTAL EXISTING G.F.A. : 75,010 SF.
 EXISTING NET FLOOR AREA : 56,257 SF.
 MAX. BUILDING HEIGHT ALLOWED : 60 FT.
 MAX. FAR ALLOWED : 0.25
 FAR PROVIDED FOR ENTIRE SITE : 0.11

NOTES :

1. THE PROPERTY IS LOCATED ON TAX MAP #111-1-((01))-0009 AND TAX MAP 111-1-((01))-0010 & IT IS ZONED R-3.
2. NO TITLE REPORT HAS BEEN FURNISHED.
3. THE PROPERTY IS OWNED BY: FAIRFAX COUNTY PARK AUTHORITY AND FAIRFAX COUNTY PUBLIC SCHOOLS, EXISTING & PROPOSED USE: SCHOOL AND OPEN SPACE
4. BOUNDARY & TOPD SHOWN IS BASED ON EXISTING RECORDS SUPPLEMENTED WITH FIELD RUN SURVEY CONDUCTED BY THIS FIRM.
5. THE PROPOSED DEVELOPMENT IS IN ACCORDANCE WITH THE ADOPTED COMPREHENSIVE PLAN OF FAIRFAX COUNTY.
6. PUBLIC WATER & SANITARY SEWER ARE AVAILABLE AND EXISTING FOR THIS SITE.
7. THE PROPOSED DEVELOPMENT CONFORMS TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS & ADOPTED STANDARDS UNLESS OTHERWISE WAIVED.
8. EROSION & SEDIMENT CONTROL WILL CONFORM TO ALL APPLICABLE LOCAL COUNTY & STATE STANDARDS.
9. TO THE BEST OF OUR KNOWLEDGE NO GRAVE SITE IS LOCATED ON THIS SITE.
10. HORIZONTAL DATUM IS VIRGINIA STATE GRID NORTH (NAD83), AND VERTICAL DATUM IS NGVD 1929. CONTOUR INTERVAL IS 2 FEET.
11. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO TOXIC MATERIALS OR AUTOMOBILE FUEL FOUND OR PROPOSED TO BE STORED ON THIS SITE.
12. ALL RETAINING WALLS GREATER THAN 2' WILL REQUIRE A SEPARATE BUILDING PERMITS.
13. WETLANDS DELINEATED ON THESE PLANS WAS DONE BY WALKER CONSULTANT ON JANUARY 06, 2023.

RPA Boundary Location Certification
 (The following certification statement is to be placed on the plan, signed, and sealed by the licensed professional submitting the plan.)
FORT HUNT ELEMENTARY SCHOOL
 RPA Boundary Location Certification

The lot depicted on this infill lot grading plan includes an RPA. The locations of all RPA features have been verified in the field.

Checklist of RPA features which are present:

- | | | | |
|-------------------------------------|-------------------------------------|------|----------------------------------------------------------------------------------------------------------------------------------|
| YES | NO | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | (1) | A tidal wetland; |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | (2) | A tidal shore; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | (3) | A water body with perennial flow; |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | (4) | A nontidal wetland connected by surface flow and contiguous to a tidal wetland or water body with perennial flow; (offsite only) |
| | | (5) | A buffer area as follows: |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | (I) | Any land within a major flood plain; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | (II) | Any land within 100 feet of a feature listed in (1) through (4). |

Supporting Documents:

Jurisdictional determination or verification letter from the U.S. Army Corps of Engineers for all Waters of the U.S.

I hereby certify that:

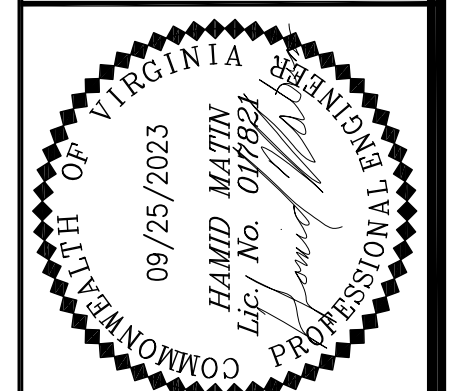
Each of the individual features listed above, which together comprise the RPA, have been reviewed and the locations of the features and final RPA boundary shown on the plan are in conformance with the requirements of the Chesapeake Bay Preservation Ordinance.

Hamid Martin July 23, 2023
 Signature Date
 Hamid Martin, PE 017821
 Name Virginia license number

APPROVED Before you start work you are required to notify the site inspector at 703-324-1726. Failure to notify can result in a violation and a charge per the compliance inspection. Stamped By: Jun Ru Chang
 A VDOT Permit will be required for any activity disturbing VDOT right-of-way or impeding pedestrian or vehicular traffic.

NO.	DATE	DESCRIPTION	BY

OVERALL PLAN AND EXISTING CONDITIONS
FORT HUNT ELEMENTARY SCHOOL
 (DB: 3219 PG: 0202 - TM: 111-1-((01))-0009)
 & **FAIRFAX COUNTY PARK AUTHORITY**
 (DB: 3180 PG: 0352 - TM: 111-1-((01))-0019)
 MOUNT VERNON DISTRICT - FAIRFAX COUNTY, VIRGINIA

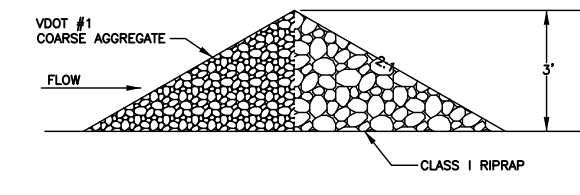
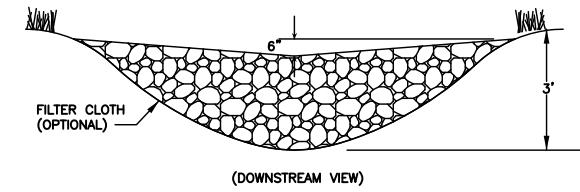
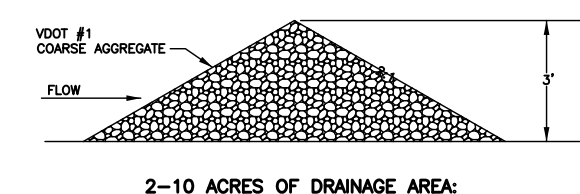
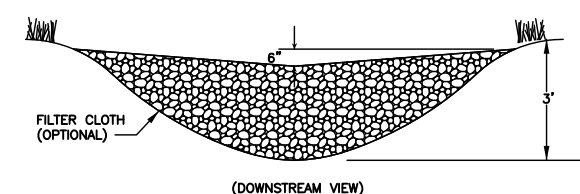


PROFESSIONAL DESIGN GROUP, INC.
 4124 WALNEY ROAD, SUITE M
 CHANTILLY, VIRGINIA 20151
 ENGINEERS, SURVEYORS, CONSULTANT
 PHONE (703) 631-2344
 FAX (703) 378-2102

DESIGN BY: PJT
 DRAWN BY: PJT
 CHECKED BY: HM
 DATE: JULY 2023
 SCALE: 1" = 50'
 JOB #: 00534
 DRAWING #: 534-DP -1

ROCK CHECK DAM

2 ACRES OR LESS OF DRAINAGE AREA:



**Narrative of Tree Preservation
Fort Hunt Elementary School Ball Field**

- All tree preservation activities shall be done according to Chapter 12 of the Fairfax County Public Facilities Manual and meet industry standards as specified by the International Society of Arboriculture and the American National Standards Institute. Any treatments or activities specified not meeting these standards will be as specified and approved by the Fairfax County Urban Forester.
- Excavation and demolition shall occur. Prior to excavation tree protective fence shall be installed according to plate # 6-12. Signs shall be placed every 50' indicating the tree protection areas. No activity, materials or equipment shall go beyond the tree protective fence which shall remain in place until completion of construction.
- The existing tree coverage on the lot is predominately Upland Forest with some Landscaped Tree Canopy in good condition.
- There are no tree removal proposed with this project, therefore the tree coverage does not change.
- There are no observed hazardous trees in the preservation area.
- There are no observed human health or safety risks in forested areas.
- There are no "Heritage", "Specimen", "Memorial" or "Street" trees on this lot or neighboring lots.
- The contractor shall apply 2 inch to 3 inches of wood chips behind the silt fence within the critical root zone of the existing tree shown to be saved.

EX. 100 YR FP
PER GIS MAP



CONTRACTOR SHALL COORDINATE WITH FFXI COUNTY UFMD INSPECTOR PRIOR TO INSTALLATION OF SUPER SILT FENCE WITHIN THE CRITICAL ROOT ZONE AREA OF EX. TREES.

Portion of Ex. 30' Conservation Easement Hereby Vacated
AREA = 2,778 SF

THE COUNTY SCHOOL BOARD FOR FAIRFAX COUNTY
DB: 3219 PG: 202
TM: 111-1-((01))-0009
ZONED R-3(Residential 3 DU/AC)

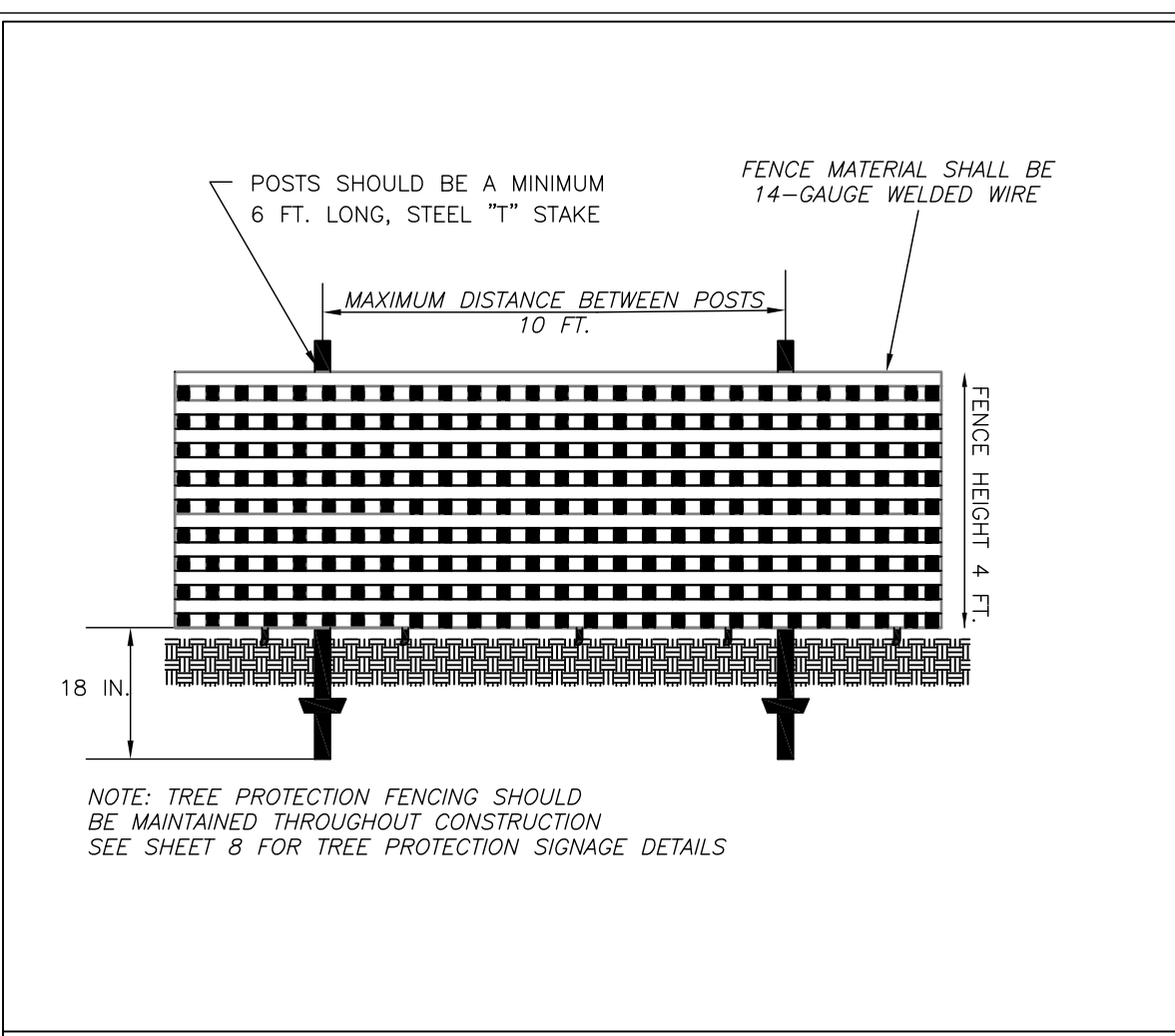
EX. 100 YR FP
PER PLAN # 15701-FP-001

DEMOLITION NOTES:

- DAMAGED FENCING, SIDEWALKS (S/W), UTILITIES AND BUILDINGS SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
- SAW CUT THE EXISTING ASPHALT TRAIL AT THE EDGE OF REMOVAL.
- TRENCH AND UTILITY EXCAVATION SHALL BE BACKFILLED IN ACCORDANCE WITH COMPACTION NOTE ON SHEET 6.
- ALL DENuded AND DISTURBED AREA SHALL BE STABILIZED PER STANDARDS AND SPECIFICATION STATED ON EROSION SEDIMENT CONTROL NOTES.
- EXISTING PAVED PARKING, CURB AND GUTTER, AND BIORETENTION AREA IS TO BE PROTECTED FROM EXCESSIVE LOADING AND DAMAGE DURING CONSTRUCTION. DAMAGED ITEMS WILL BE REPAIRED/REPLACED AT CONTRACTOR'S EXPENSE AND OWNER'S DIRECTION.
- CONTRACTOR SHALL COORDINATE WITH FCPS PROJECT MANAGER TO PROVIDE WATER LINE FOR IRRIGATION SYSTEM IF REQUESTED.
- THE CONTRACTOR SHALL PROVIDE TREE PRESERVATION SIGNS PER DETAIL SHOWN ON SHEET 8.
- ANY TREE ROOTS EXPOSED DURING EXCAVATION SHOULD RECEIVE A CLEAN PRUNING CUT AND BE COVERED WITH SOIL OR MULCH.

SURVEY CERTIFICATE:

THIS TOPOGRAPHICAL MAP WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF PETER J THOMAS FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON JANUARY 7TH, 2023; AND THAT THIS PLAT, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.



TREE PROTECTION FENCE INSTALLATION

SW-10 POLICY STATEMENT:

THERE IS NO WATER DEPENDENT (WET POND) DOWNSTREAM FROM THIS PROJECT WITHIN POTENTIAL INFLUENCE AREA OF THE LIMITS OF LAND DISTURBING ACTIVITIES AS DEPICTED ON THESE PLANS.

LEGEND

- SAW CUT AND REMOVE EX. CONC.
- (TBR) DENOTES TO BE REMOVED
- EX. FENCE TO BE REMOVED.
- EX. WATERLINE TO BE REMOVED.
- (LOD) DENOTES LIMITS OF CLEARING & GRADING
- DENOTES EX. TREES TO BE REMOVED
- SAF - X - X - DENOTES SAFETY FENCE
- SSF - XX - DENOTES SUPER SILT FENCE/ TREE PROTECTION FENCING
- CD DENOTES CHECK DAM
- RP DENOTES ROOT PRUNING
- CR DENOTES CRITICAL ROOT ZONE

APPROVED Before you start work you are required to notify the site inspector at 303-354-1700. Failure to notify can result in a violation and a charge per the compliance inspection. Stamped By: Dan DeChang
A VDOT Permit will be required for any activity disturbing VDOT right-of-way or impeding pedestrian or vehicular traffic.

THIS SHEET TO BE USED FOR DEMOLITION PURPOSES ONLY

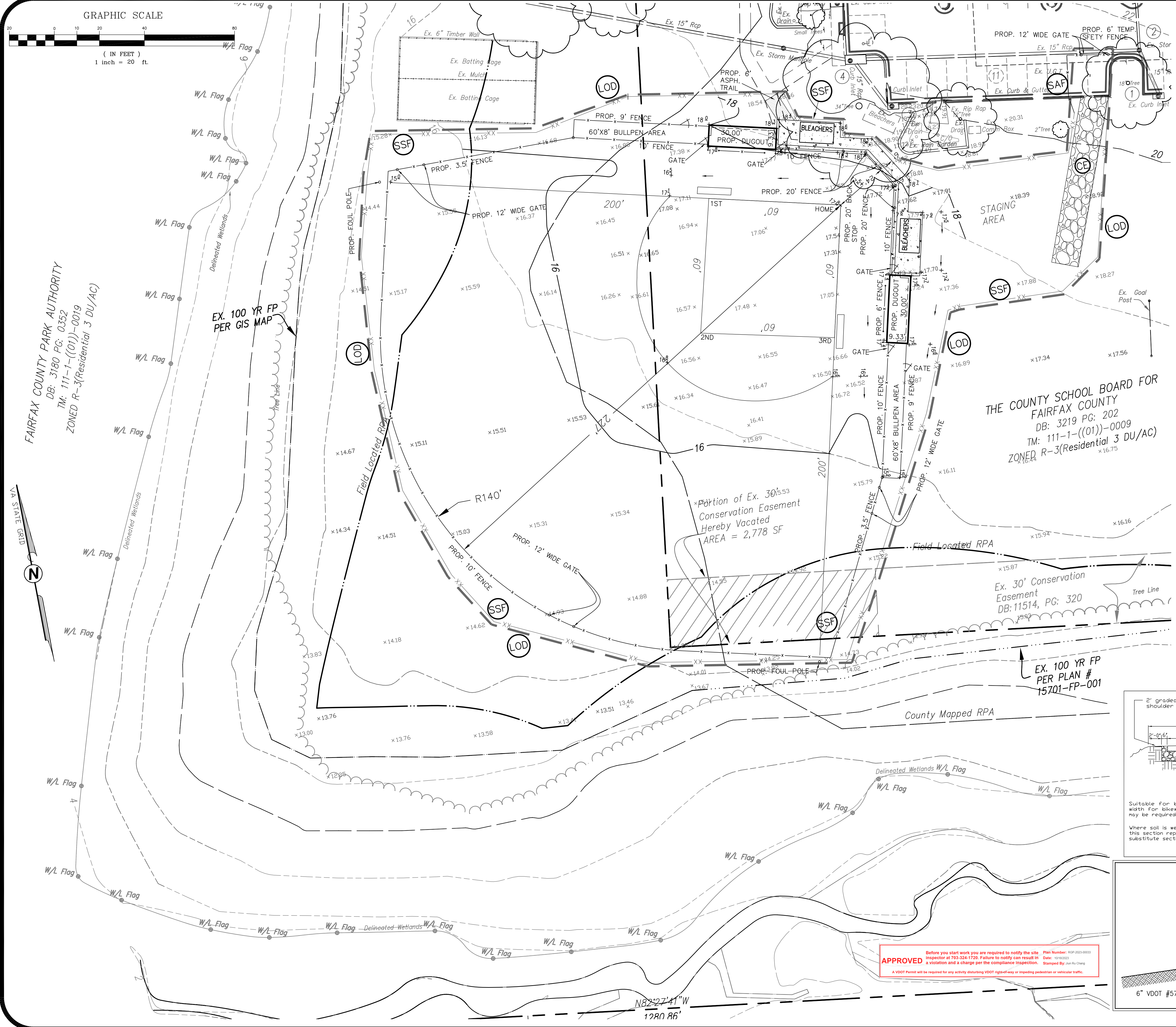
NO.	DATE	DESCRIPTION	BY

DEMO AND EXISTING CONDITIONS
DUGOUT REPLACEMENT SCHOOL
FORT HUNT ELEMENTARY SCHOOL
(DB: 3219 PG: 0202 - TM: 111-1-((01))-0009)
& FAIRFAX COUNTY PARK AUTHORITY
(DB: 3180 PG: 0352 - TM: 111-1-((01))-0019)
MOUNT VERNON DISTRICT - FAIRFAX COUNTY, VIRGINIA



PROFESSIONAL DESIGN GROUP, INC.
4124 WALNEY ROAD, SUITE M
CHANTILLY, VIRGINIA 20151
ENGINEERS, SURVEYORS, CONSULTANT
PHONE (703) 631-2344
FAX (703) 378-2102

DESIGN BY: PJT
DRAWN BY: PJT
CHECKED BY: HM
DATE: JULY 2023
SCALE: 1" = 20'
JOB #: 00534
DRAWING #: 534-DP -1



358.95 DENOTES EX. GRADE
 +59.90 DENOTES PROP. GRADE

COMPACTION NOTE:
 CONTROLLED FILLS MUST BE COMPACTED TO 95% AND 100% WITHIN TRENCHES AS DETERMINED PER STANDARD PROCTOR AASHTO T-99 OR ASTM D 698, DENSITY MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER AND THE RESULTS SUBMITTED TO FAIRFAX COUNTY PRIOR TO FOOTING CONSTRUCTION.

PROJECT DESCRIPTION:
 THIS PROJECT CONSIST OF REMOVAL OF EXISTING DUGOUTS, FENCES, AND REPLACING THEM WITH NEW ONES. THE NEW DUGOUTS ARE SLIGHTLY LARGER THAN THE EXISTING ONE. IN ADDITION WE ARE REDOING THE INFILL AREA TO BE MORE EFFICIENT. WE ARE ALSO PROVIDING MINOR GRADING TO PROVIDE 2% OVER ALL GRADE OVER THE BALL FIELD. GRADING WILL BE DONE BY SMALL EQUIPMENT AND DEBRIS WILL BE HAULED OFF SITE TO AN APPROVED DUMPING SITE BY SITE INSPECTOR WITHOUT STOCKPILING ON SITE. THE MATERIAL DELIVERY AND HANDLING WILL BE DONE ON THE AREA DESIGNATED AS STAGING AREA.

BALL FIELD MAINTENANCE RESPONSIBILITY:
 AS PER THE ADOPT-A-FIELD AGREEMENT SIGNED ON MARCH 2ND, 2022, BY FAIRFAX COUNTY PARK AUTHORIZED REPRESENTATIVE, FORT HUNT LITTLE LEAGUE WILL BE RESPONSIBLE FOR ALL MAINTENANCE FUNCTIONS FOR THE FIELD DEPICTED ON THIS PLAN.

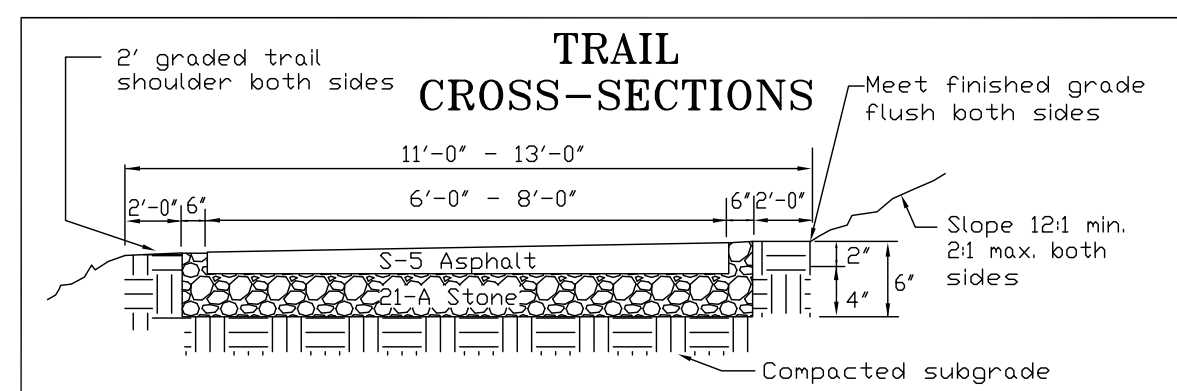
CLASS IVB SOIL CERTIFICATION:
 THIS PROJECT CONSISTS OF THE RETROFIT OF EXISTING BALL FIELD. IT DOES NOT INCLUDE ANY FOOTING AND FOUNDATION WALLS AND IS FOR REGRADING OF BALLFIELD, INSTALLATION OF FENCES, CONCRETE PADS FOR DUGOUT AND BEACER STAND.

1. PROBLEM CLASS III OR CLASS IVB SOILS ARE NOT MAPPED ON THE EFFECTED AREA.
2. THE PROJECT DOES NOT REQUIRE SHEETING AND SHORING, RETAINING WALLS OVER 6 FEET HIGH, PILE FOUNDATIONS, GEOPHILERS, MAT FOUNDATIONS, OR GROUND MODIFICATION SUCH AS DYNAMIC COMPACTION, STONE COLUMNS, VIBRA COMPACTION, CHEMICAL STABILIZATION, ETC.
3. GEOTECHNICAL REPORTS ARE NOT REQUIRED UNDER ANY OTHER COUNTY REGULATION OR BUILDING CODES.
4. THE MAXIMUM DEPTH OF EXISTING DISTURBED LAND ON THE PROPERTY IS LESS THAN 5 FEET.
5. THE FOOTINGS AND FLOOR SLABS WILL BE SUPPORTED ON COMPETENT NATURAL SOILS.
6. THE EXISTING SLOPES ON THE PROPERTY ARE NOT STEEPER THAN 3:1 (HORIZONTAL:VERTICAL). IF EXISTING SLOPES ARE STEEPER THAN 3:1, THE COUNTY'S GEOTECHNICAL REVIEW ENGINEER SHALL BE CONTACTED. EVALUATION OF THE SLOPES MAY BE REQUIRED, DEPENDING ON THE PROPOSED HOUSE LOCATION.
7. THE STRUCTURE IS LOCATED AT LEAST 15 FEET FROM THE TOP OF ANY 3:1 (HORIZONTAL:VERTICAL) OR STEEPER SLOPE, AND THE INFLUENCE ZONE OF HOUSE FOOTINGS DOES NOT INTERCEPT WITH ANY SLOPE. THE INFLUENCE ZONE OF A FOOTING IS DEFINED AS THE AREA BENEATH A 45-DEGREE LINE EXTENDING OUTWARD AND DOWNWARD FROM FOOTING EXTERIOR EDGE.
8. THERE ARE NO FOUNDATIONS PROPOSED WITH THIS PLAN; THEREFORE, THERE IS NO NEED FOR FOUNDATION DRAIN DETAIL.

I, HAMID MATIN, HEREBY CERTIFY TO ABOVE STATEMENT.

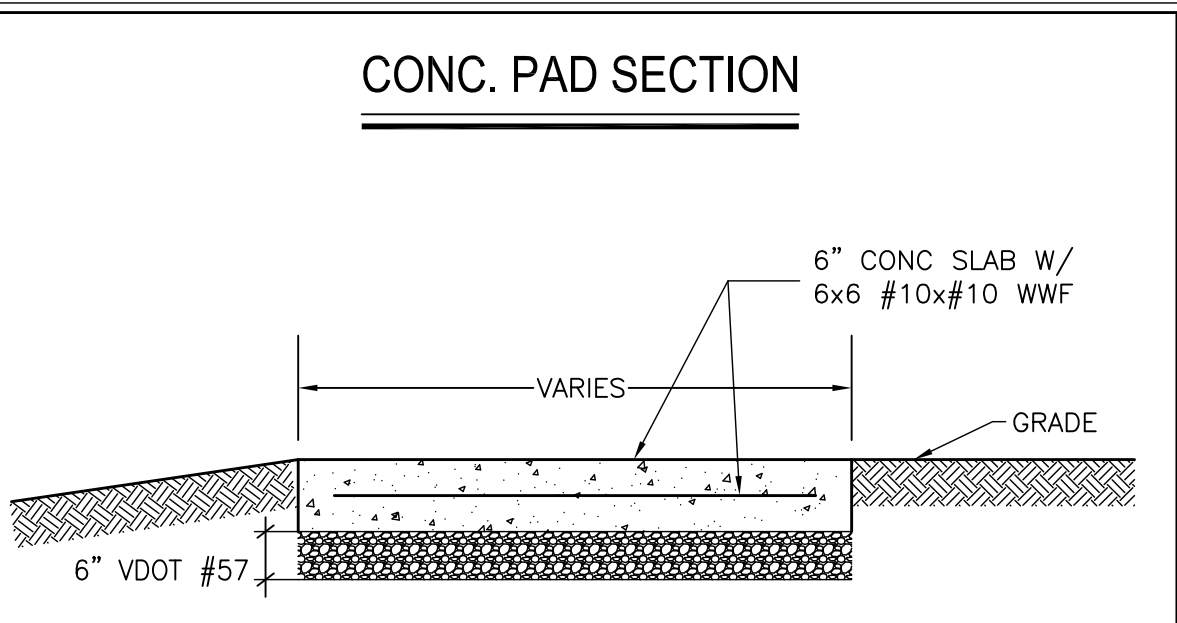
Hamid Matin
 HAMID MATIN, PE
 DATE: 7/29/2023

COMMONWEALTH OF VIRGINIA
 HAMID MATIN
 Lic. No. 017821
 PROFESSIONAL ENGINEER



TYPE I
 Suitable for bicycle and general pedestrian use. 8' is the required minimum width for bikeways and 6' is the required minimum for walkways. Wider sections may be required in heavily traveled areas.

Where soil is well drained and compactable, the stone base may be eliminated and this section replaced by a 3 1/2\"/>



APPROVED Before you start work you are required to notify the site inspector at 703-324-1720. Failure to notify can result in a violation and a charge per the compliance inspection. Stamped By: Jun-Ru Chang
 PFI# Number: RSP-2023-0803 Date: 10/10/2023
 A VDOT Permit will be required for any activity disturbing VDOT right-of-way or impeding pedestrian or vehicular traffic.

FAIRFAX COUNTY PARK AUTHORITY
 DB: 3180 PG: 0352
 TM: 111-1-((01))-0019
 ZONED R-3(Residential 3 DU/AC)

THE COUNTY SCHOOL BOARD FOR
 FAIRFAX COUNTY
 DB: 3219 PG: 202
 TM: 111-1-((01))-0009
 ZONED R-3(Residential 3 DU/AC)

Portion of Ex. 30' Conservation Easement Hereby Vacated AREA = 2,778 SF

EX. 100 YR FP PER PLAN # 15701-FP-001

NO.	DATE	DESCRIPTION	BY

ROUGH GRADING PLAN
 DUGOUT REPLACEMENT AND PRESS BOX
 FORT HUNT ELEMENTARY SCHOOL
 (DB: 3219 PG: 0202 - TM: 111-1-((01))-0009)
 & FAIRFAX COUNTY PARK AUTHORITY
 (DB: 3180 PG: 0352 - TM: 111-1-((01))-0019)
 MOUNT VERNON DISTRICT - FAIRFAX COUNTY, VIRGINIA



PROFESSIONAL DESIGN GROUP, INC.
 4124 WALNEY ROAD, SUITE M
 CHANTILLY, VIRGINIA 20151
 ENGINEERS, SURVEYORS, CONSULTANT
 PHONE (703) 631-2344
 FAX (703) 378-2102

DESIGN BY: PJT
 DRAWN BY: PJT
 CHECKED BY: HM
 DATE: JULY 2023
 SCALE: 1" = 20'
 JOB #: 00534
 DRAWING #: 534-DP -1
 SHEET NO. 6 OF 8

2013 BMP Standards and Specifications
Project Name: Fort Hunt ES Ball Field Restoration
Date: 7/26/2023
Linear Development Project? NO

Site Information
Post-Development Project (Treatment Volume and Loads)
Enter Total Disturbed Area (acres): 1.39
Check: BMP Design Specifications List: 2013 Draft Stds & Specs

Pre-ReDevelopment Land Cover (acres) table with columns: A Soils, B Soils, C Soils, D Soils, Totals. Values: Forest/Open (0.00), Managed Turf (1.37), Impervious Cover (0.02), Total (1.39).

Post-Development Land Cover (acres) table with columns: A Soils, B Soils, C Soils, D Soils, Totals. Values: Forest/Open (0.00), Managed Turf (1.35), Impervious Cover (0.04), Total (1.39).

Constants table with columns: Runoff Coefficients (A, B, C, D Soils) and various constants like SCS Runoff Curve Number, etc.

LAND COVER SUMMARY - PRE-REDEVELOPMENT table showing Land Cover Summary Pre and Post Development with columns for Forest/Open, Managed Turf, and Impervious Cover.

Treatment Volume and Nutrient Load table showing Pre-Development and Post-Development values for Treatment Volume (ac-ft) and TP Load (lb/yr).

Baseline TP Load (lb/yr) table showing values for Pre-Development (0.82) and Post-Development (0.59).

Post-Development Requirement for Site Area table showing TP Load Reduction Required (0.20) and Nitrogen Loads (Informational Purposes Only).

BMP Design Specifications List: 2013 Draft Stds & Specs
Update Summary Sheet
Print Preview
Print

Summary table: Total Rainfall (in): 43, Total Disturbed Acreage: 1.39

Site Land Cover Summary table showing Pre-ReDevelopment Land Cover (acres) with columns: A soils, B Soils, C Soils, D Soils, Totals, % of Total.

Post-Development Land Cover (acres) table showing Land Cover (acres) with columns: A soils, B Soils, C Soils, D Soils, Totals, % of Total.

Site Tv and Land Cover Nutrient Loads table showing Final Post-Development, Post-ReDevelopment, Post-Development (New Impervious), and Adjusted Pre-ReDevelopment values for TP Load (lb/yr).

TP Load (lb/yr) table showing Total TP Load Reduction Required (0.20) and TN Load (lb/yr) (6.13).

Site Compliance Summary table showing Maximum % Reduction Required Below Pre-Development Load (20%).

Total Runoff Volume Reduction (ft³) table showing values for Total Runoff Volume Reduction (0), Total TP Load Reduction Achieved (0.00), Total TN Load Reduction Achieved (0.00), Remaining Post Development TP Load (0.86), and Remaining TP Load Reduction Required (0.20).

Drainage Area Summary table showing D.A. A through D.A. E and Total values for Forest/Open, Managed Turf, Impervious Cover, and Total Area (0.00).

Drainage Area Compliance Summary table showing D.A. A through D.A. E and Total values for TP Load Reduced (0.00) and TN Load Reduced (0.00).

IMPERVIOUS ARE COMPUTATIONS:
TOTAL IMPERVIOUS AREA BEING REMOVED IS 634 sf.
TOTAL IMPERVIOUS AREA PROPOSED IS 1,740 sf.
TOTAL INCREASE IN IMPERVIOUS ARE 1,106 sf. OR LESS THAN 0.1% OF TOTAL SITE ARE.

SWM AND BMP NARRATIVE:
THIS PROJECT IS PART OF THE FORT HUNT ELEMENTARY SCHOOL THAT HAS BEEN CONSTRUCTED PRIOR TO NEW STORMWATER MANAGEMENT REQUIREMENTS. A MINOR SITE PLAN WAS APPROVED FOR ONE STORY ADDITION AND ADDITIONAL PARKING AREA IN 1995.

OUTFALL NARRATIVE:
THE FLOW FROM THE EFFECTED AREA IS RUNNING IN SOUTHWESTERLY DIRECTION INTO AN EXISTING CREEK ON PARK PROPERTY.
WITH THIS RETROFIT THERE IS NO INCREASE IN RUNOFF AND IT SHEET FLOWS TOWARD THE EXISTING STREAM THAT RUNS THROUGH PARK AUTHORITY PROPERTY.

PLEASE SEE THE CALCULATIONS AND DRAINAGE AREA MAP ON SHEET 8.
Professional Design Group, Inc.
37163 Mountville Rd
Middleburg, VA 20117
540-687-6999

July 27, 2023
Mr. Hamid Martin, PE
Professional Design Group, Inc.
4124 Walney Road, Suite M
Chantilly, VA 20151

Re: Credit Availability - Fort Hunt Elementary School - Ball Field Improvements
Location: 8832 Linton Lane, Alexandria, VA 22308
0.2 Lbs Phosphorus Reduction Offset Credits
Circleville Nutrient Credit Bank
Loudoun County, Virginia
Located in HUC 02070010

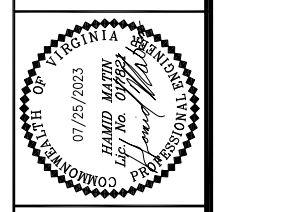
Dear Mr. Martin,
This letter is to confirm the availability of authorized phosphorus reduction credits at the Circleville Nutrient Bank located in Loudoun County, VA, Hydrologic Unit Code 02070008, which per state regulation allows us to service Virginia 8 Digit Hydrologic Unit Codes (HUCs) 02070008 and 02070010.

On July 6, 2023, Circleville Nutrient Bank was authorized to transfer 8.46 pounds of phosphorus credits. We will have availability to supply 0.2 lbs. of phosphorus Credits from the Brookdale or Circleville banks to meet your removal requirement of 0.2 Credits.
These credits will be available in accordance with the Nonpoint Nutrient Offset Generation Certification (Potomac - 065). These credits are transferrable under the Nutrient Reduction Implementation Plan for Circleville Nutrient Credit Bank, which was dated February 28, 2020.

In the event our credit inventory at the Circleville Bank is depleted before you are ready to break ground and purchase the 0.2 credits, we reserve the right to substitute credits from another of Potomac's banks in Hydrologic Unit Code 02070008 and 02070010, specifically our Britan Farms and Crooked Run nutrient banks.
If I can be of further assistance please do not hesitate to contact me.
Sincerely,
Holly Geary
Secretary/Treasurer

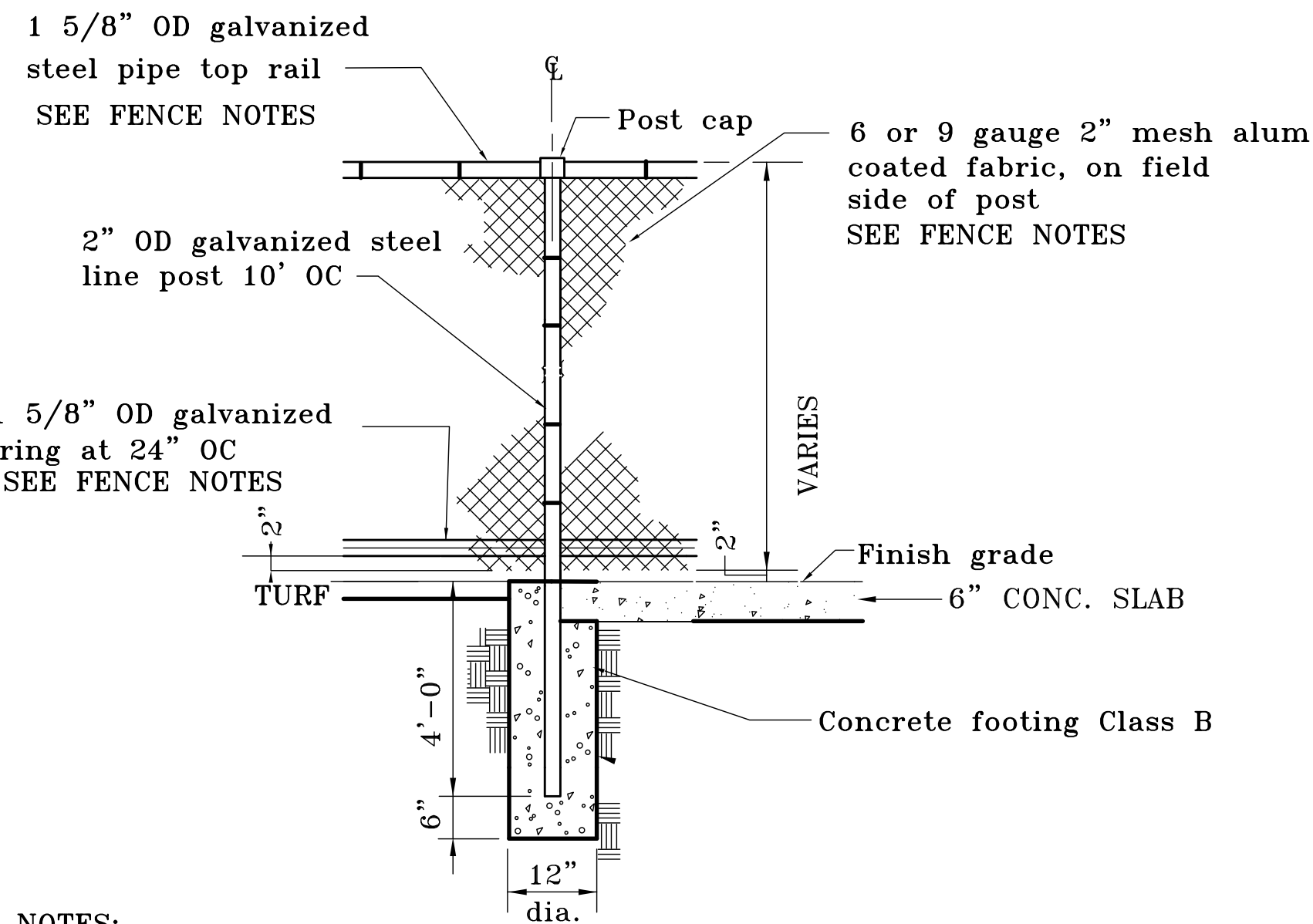
Revision Block table with columns: NO., DATE, DESCRIPTION, BY.

VRM SPREAD SHEET AND NARRATIVES
FORT HUNT ELEMENTARY SCHOOL
02070008
FAIRFAX COUNTY PARK AUTHORITY
MOUNT VERNON DISTRICT - FAIRFAX COUNTY, VIRGINIA



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PHONE (703) 631-2344
FAX (703) 378-2102
ENGINEERS, SURVEYORS, CONSULTANT

Design Information table: DESIGN BY: PJT, DRAWN BY: PJT, CHECKED BY: HM, DATE: JULY 2023, SCALE: N/A, JOB #: 00534, DRAWING #: 534-DP -1, SHEET NO. 7 OF 8

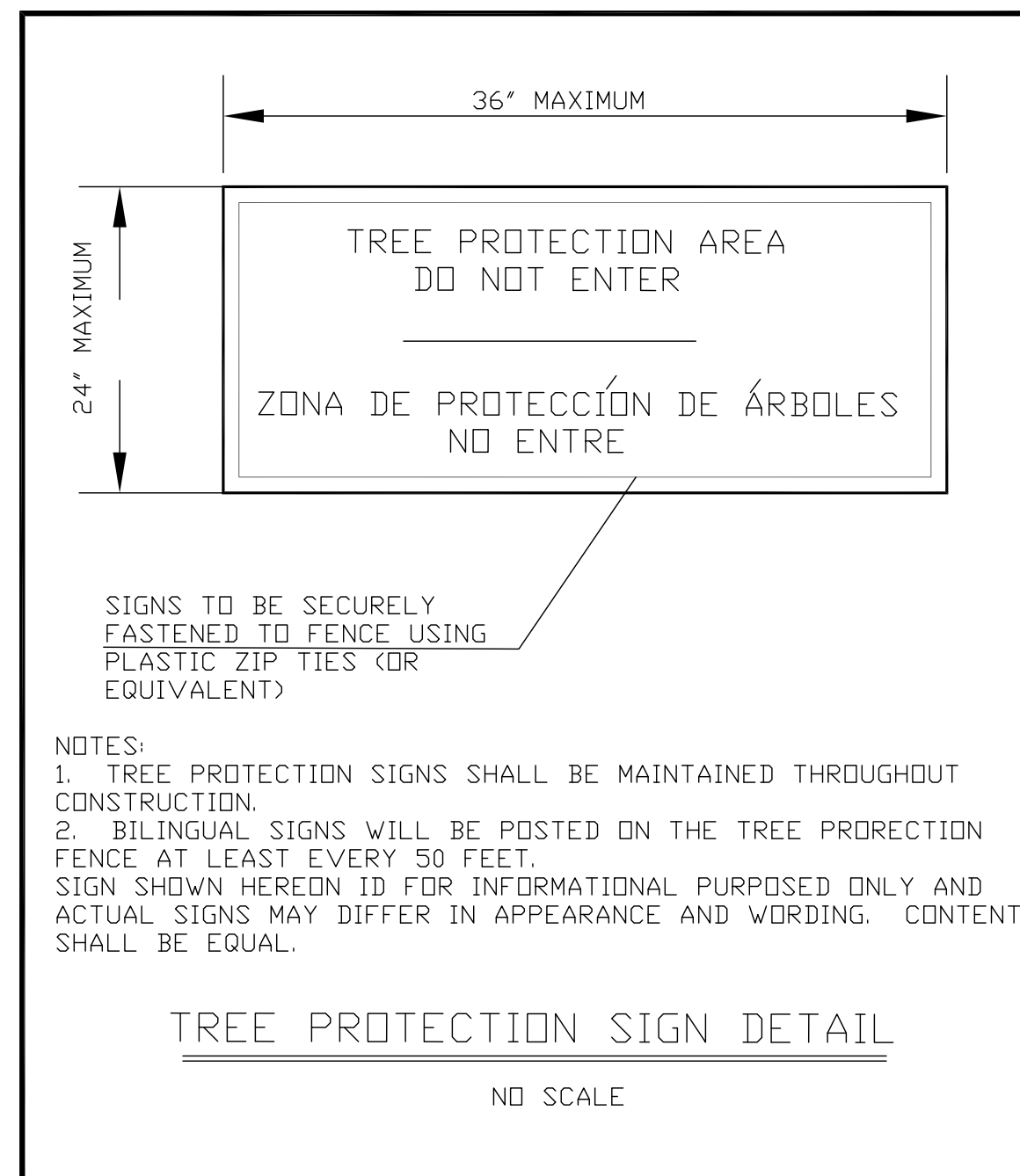


- NOTES:
1. Terminal post shall be 2 1/2" OD
 2. This detail shows mow strip without warning track.
 3. All posts shall be set plumb.
 4. Fabric shall have knuckled selvage top & bottom.
 5. Dugout fence fabric shall be on inside/field side of posts.
 6. Gate shall swing away from field.

FENCE DETAIL

FENCE NOTE:

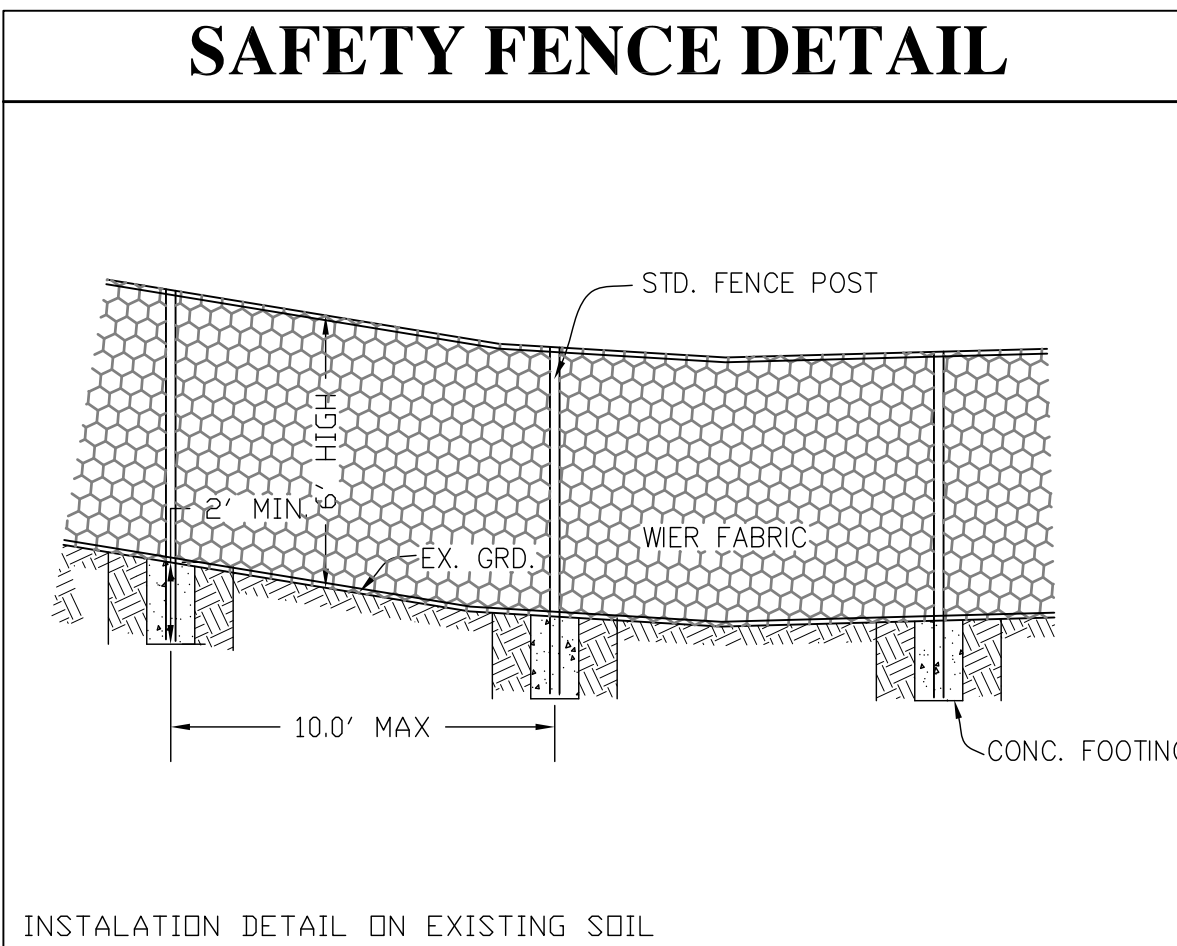
- 1) FOR THE 20' HIGH BACKSTOP FENCING, 6 GAUGE FABRIC SHALL BE USED FOR ALL FOUR SECTIONS OF THE BACKSTOP (TWO BEHIND HOME PLATE, AND ONE WING ON EACH SIDE). FABRIC SHOULD BE KNUCKLED ENDS ON TOP AND BOTTOM. SUPPORT RAILS SHOULD BE INSTALLED AT 2', 1', 2', 4', 6', 10', 15', AND 20'.
- 2) FOR THE 20' HIGH FENCING INSTALLED TO EITHER SIDE OF THE BACKSTOP FENCING, 9 GAUGE FABRIC SHALL BE USED. FABRIC SHOULD BE KNUCKLED ENDS ON TOP AND BOTTOM. SUPPORT RAILS SHOULD BE INSTALLED AT 2', 5', 10', 15', AND 20'.
- 3) REPLACEMENT OF ALL OF THE REMAINING FENCING SHALL BE WITH NEW 9 GAUGE FABRIC SHALL BE USED AND FABRIC SHOULD BE KNUCKLED ENDS ON TOP AND BOTTOM. SUPPORT RAILS SHOULD BE INSTALLED AT 2', 3', 6' AND 10' (FOR 10 FEET HIGH FENCE ONLY) ALONG THE ENTIRE LENGTH OF FENCE



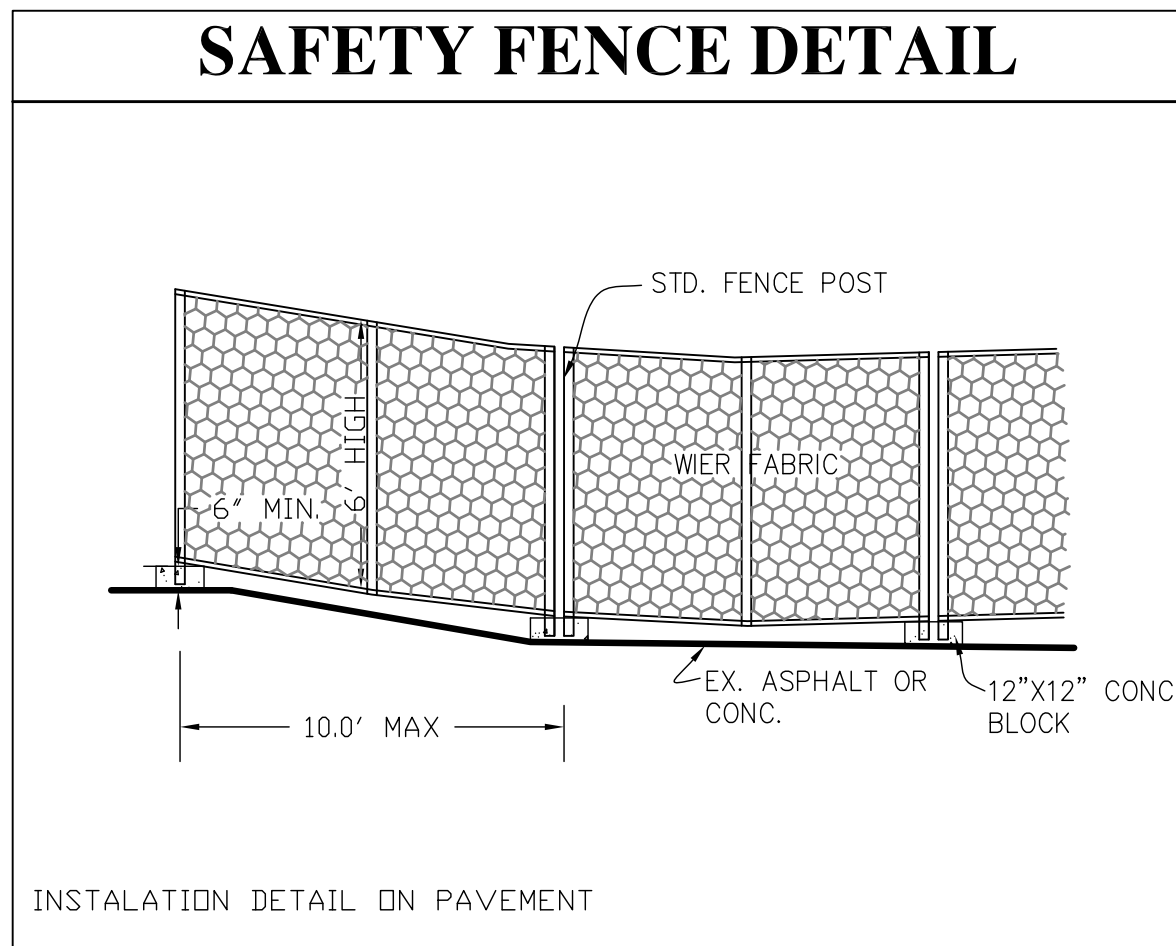
- NOTES:
1. TREE PROTECTION SIGNS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 2. BILINGUAL SIGNS WILL BE POSTED ON THE TREE PROTECTION FENCE AT LEAST EVERY 50 FEET.
- SIGN SHOWN HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND ACTUAL SIGNS MAY DIFFER IN APPEARANCE AND WORDING. CONTENT SHALL BE EQUAL.

TREE PROTECTION SIGN DETAIL

NO SCALE



INSTALLATION DETAIL ON EXISTING SOIL



INSTALLATION DETAIL ON PAVEMENT

IMPERVIOUS WORK SHEET:		SITE AREA 1,359,760 S.F. or 31.22 ACRES	
PRE	IN/HR	5.75	
		POST	
EX. BLDG	66,471 S.F.	BLDG	66,471 S.F.
EX. CON. S/W	20,084 S.F.	CONC S/W	20,084 S.F.
EX. ASPH CT	24,943 S.F.	ASPH CT	24,943 S.F.
EX. ASPH WALK	3,435 S.F.	ASPH WALK	3,346 S.F.
EX. PARKING	60,960 S.F.	PROP PARKING	60,960 S.F.
EX. PATIOS	S.F.	PATIOS	S.F.
EX. UTIL YARD	496 S.F.	UTIL. YARD	496 S.F.
EX. LOADING & TRASH	639 S.F.	LOADING AND TRASH	639 S.F.
EX. MISC	471 S.F.	MISC.	1,066 S.F.
	S.F.		S.F.
	S.F.		S.F.
TOTAL	177,521 S.F.	TOTAL	178,627 S.F.
	4.08 AC		4.0 AC

IMPERVIOUS	177,521 X 0.90	159,769	IMPERVIOUS	178,627 X 0.90	160,764
OPEN	1,182,239 X 0.35	413,784	OPEN	1,181,133 X 0.35	413,397
TOTAL	573,553		TOTAL	574,161	
IMP / SA	AVERAGE C = 0.42		IMP / SA	AVERAGE C = 0.42	
Q(12)	Q=CIA	75.39 cfs	Q(12)	Q=CIA	88.76 cfs
Q(10)	Q=CIA	88.76 cfs	Q(10)	Q=CIA	88.76 cfs
			DISTRIBUED AREA	60,962 S.F.	
				1.39949 AC	

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County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

Aug 15, 2023 15:31:19 EDT

Professional Design Group
4124 Walney Rd
Suite M
Chantilly, VA 20151

Subject: Fort Hunt Elementary School; 8832 Linton Lane; Tax Map # 1111 01 0009; Mount Vernon District

Reference: Resource Protection Area Exemption # WAIV-2023-00360

Dear Ms. Dodge:

Your request to encroach into the Resource Protection Area to replace an existing baseball field on the subject property under Chesapeake Bay Preservation Ordinance (CBPO - Chapter 118 of The Code of the County of Fairfax, Virginia) Section 118-5-1.A, is approved with the following conditions:

1. Any land disturbance exceeding an area of 2,500 square feet shall comply with Chapter 104 of The Code of the County of Fairfax, Virginia, and shall require the approval of a grading conservation plan prior to the initiation of land disturbance. Creating or causing a land disturbance exceeding 2,500 square feet without an approved grading conservation plan is a violation of Section 104-1-2 and is subject to civil penalties up to \$10,000 per violation.
2. No more land shall be disturbed than is necessary to provide for the proposed work.
3. All activities shall comply with all applicable state and federal permits and shall be conducted in a manner that protects water quality.
4. All activities are subject to county inspection to ensure compliance with the conditions of this approval.

This approval is valid as of the date of this letter and does not relieve you of the responsibility for complying with any and all other applicable CBPO or other County Code requirements currently in effect, or which may be adopted by the Board of Supervisors at a future date. Such other County Code requirements that may be applicable include, floodplain regulations (Zoning Ordinance § 2-900), the stormwater management ordinance (Chapter 124), pro-rata share payments, and the erosion and sediment control ordinance (Chapter 104), among other possible Code sections.

If further assistance is desired, please contact me at Daniel.Rizzo@fairfaxcounty.gov or call at 571-407-7329.

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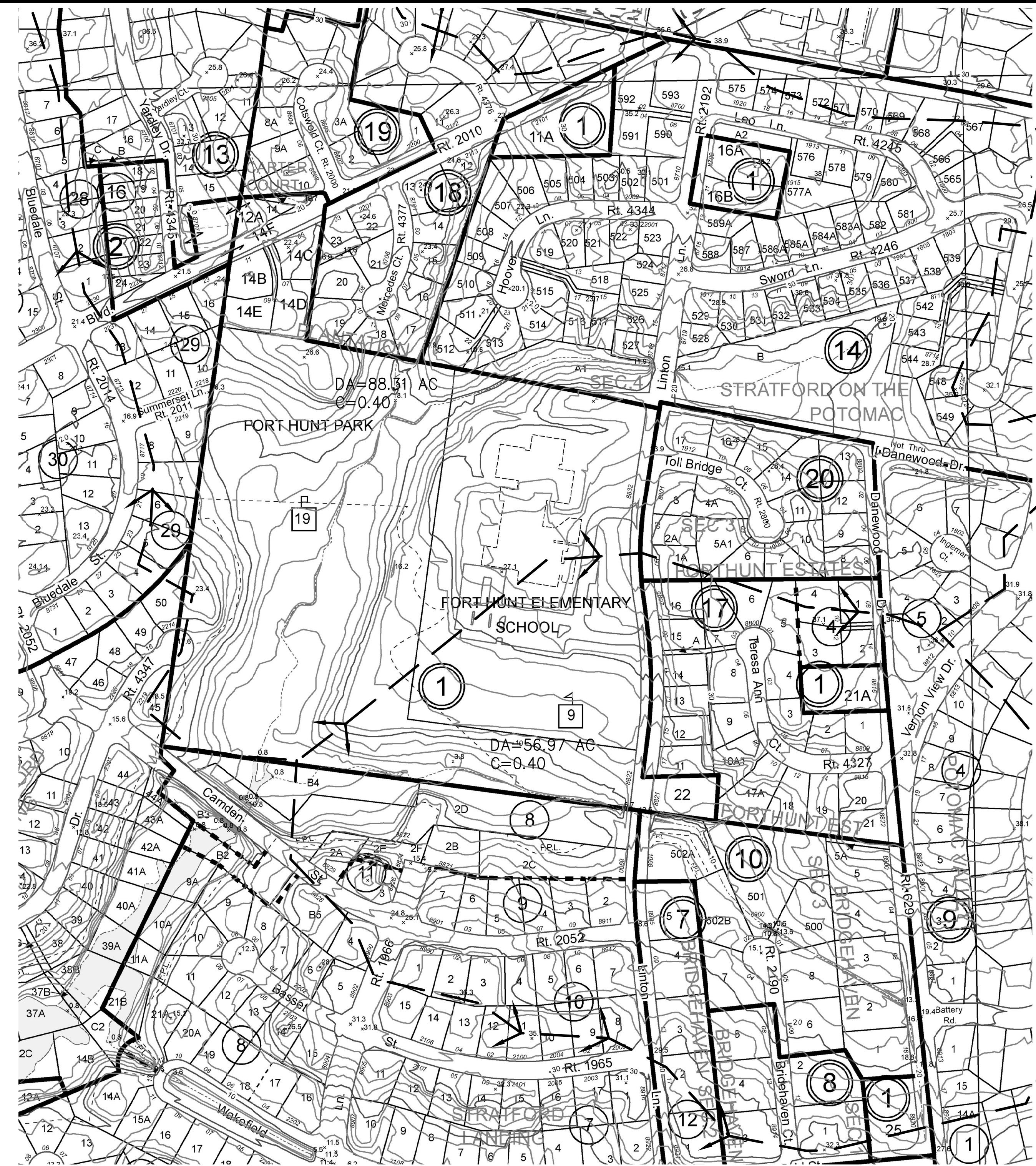
Professional Design Group
WAIV-2023-00360
Page 2 of 2

Sincerely,

DocuSigned by:

Daniel Rizzo, P.E.
Senior Engineer III, South Branch
Site Development and Inspection Division (SDID)
Land Development Services (LDS)

cc: Kati Banczay, P.E., Chief, South Branch, SDID, LDS
Waiver File



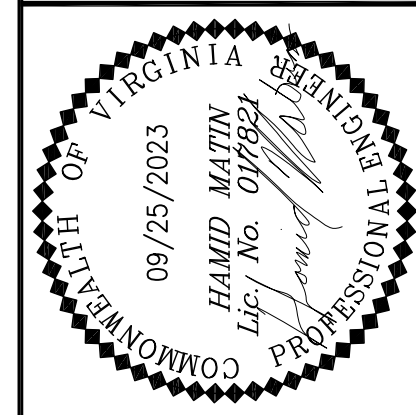
OFFSITE DRAINAGE AREA

SCALE: 1"=200'

SAFETY FENCE NOTES:

- A. LINE POSTS SHALL BE PLACED AT INTERVALS OF 10 FEET MEASURED FROM CENTER TO CENTER OF ADJACENT POSTS. IN DETERMINING THE POST SPACING, MEASUREMENT WILL BE MADE PARALLEL WITH THE GROUND SURFACE. SEE "PERSPECTIVE" VIEW IN PLATE 3.01-1 OF E&S MANUAL.
- B. POSTS WILL BE SET IN CONCRETE AND BACKFILLED OR ANCHORED BY OTHER ACCEPTABLE MEANS SUCH AS CONC. BLOCK AS SHOWN.
- C. POSTS SET IN THE TOPS OF CONCRETE WALLS SHALL BE GROUTED INTO PERFORMED HOLES TO A MINIMUM DEPTH OF 12 INCHES.
- D. ALL CORNER POSTS, END POSTS, GATE POSTS, AND PULL POSTS SHALL BE EMBEDDED, BRACED, AND TRUSSED AS SHOWN IN THE "STANDARD FENCE - CHAIN LINK DETAIL FOUND IN THE LATEST VERSION OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) ROAD AND BRIDGES STANDARDS.
- E. FENCING FABRIC SHALL NOT BE STRETCHED UNTIL AT LEAST 4 DAYS AFTER THE POSTS ARE GROUTED INTO WALLS OR 14 DAYS AFTER THE POSTS ARE SET INTO CONCRETE.
- F. THE FABRIC SHALL BE STRETCHED TAUT AND SECURELY FASTENED, BY MEANS OF TIE CLIPS, TO THE POSTS AT INTERVALS NOT EXCEEDING 15 INCHES AND TO THE TOP RAILS OR TENSION WIRES AT INTERVALS NOT EXCEEDING 2 FEET. CARE SHALL BE TAKEN TO EQUALIZE THE TENSION ON EACH SIDE OF EACH POST.

OUTFALL MAPS AND CONSTRUCTION DETAILS
DUGOUT REPLACEMENT SCHOOL
FORT HUNT ELEMENTARY SCHOOL
(DB: 3219 PG: 0202 - TM: 111-1-(011)-0009)
& FAIRFAX COUNTY PARK AUTHORITY
(DB: 3180 PG: 0352 - TM: 111-1-(011)-0019)
MOUNT VERNON DISTRICT - FAIRFAX COUNTY, VIRGINIA



PROFESSIONAL DESIGN GROUP, INC.
4124 WALNEY ROAD, SUITE M
CHANTILLY, VIRGINIA 20151
PHONE (703) 631-2344
FAX (703) 378-2102

DESIGN BY: PJT
DRAWN BY: PJT
CHECKED BY: HM
DATE: JULY 2023
SCALE: AS NOTED
JOB #: 00534
DRAWING #: 534-DP -1
SHEET NO. 8 OF 8

NO. DATE DESCRIPTION BY

ENGINEERS, SURVEYORS, CONSULTANT